



## BEHAVIORAL CARE SOLUTIONS JSP20-05

### BEHAVIORAL CARE SOLUTIONS JSP20-05

Consideration at the request of Behavioral Care Solutions, for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located in Section 1, south of Fourteen Mile Road and west of Haggerty Road, and is zoned OST, Office Service Technology. The applicant is proposing to construct an addition to the existing building, resulting in a 6,329 square foot building. The applicant is seeking to continue a stand-alone drive-through ATM under a lease agreement with the previous owner and use as a bank.

### Required Action

Approval/denial of the Preliminary Site Plan and Stormwater Management Plan

REVIEW	RESULT	DATE	COMMENTS
			<ul style="list-style-type: none"> <li>➤ Planning Commission consideration of ATM as an existing non-conforming use on the site.</li> <li>➤ Zoning Board of Appeals variances required related to the ATM drive-through:</li> </ul>
Planning	Approval recommended	4-13-20	<ul style="list-style-type: none"> <li>• Drive-through lane not separated from egress lane.</li> <li>• Drive-through lane encroaching into side yard parking setback.</li> <li>• Drive-through bypass lane of 16 feet where 18 feet is required.</li> <li>• May also require variance for not having minimum of 3 stacking spaces.</li> <li>• Items to be addressed on the Final Site Plan submittal</li> </ul>
Engineering	Approval recommended	4-9-20	<ul style="list-style-type: none"> <li>• Items to be addressed on the Final Site Plan submittal</li> </ul>
Landscaping	Approval recommended	3-24-20	<ul style="list-style-type: none"> <li>• Waiver for lack of greenbelt between parking and property line. <i>Supported by staff as existing condition.</i></li> <li>• Waiver for lack of greenbelt berm and all landscaping. <i>Supported by staff as existing condition.</i></li> <li>• Waiver for deficiency in perimeter trees provided. <i>Supported.</i></li> <li>• Waiver for parking bay greater than 15 spaces. <i>Supported by staff as existing condition.</i></li> <li>• Items to be addressed on the Final Site Plan submittal</li> </ul>
Traffic	Approval	4-9-20	<ul style="list-style-type: none"> <li>• Items to be addressed on the Final</li> </ul>

	recommended		Site Plan
Façade	Approval recommended	4-7-20	<ul style="list-style-type: none"><li>• Full compliance with Façade Ordinance</li></ul>
Fire	Approval recommended	4-2-20	<ul style="list-style-type: none"><li>• Meets Fire Department standards</li></ul>

## **MOTION SHEET**

### **Approval – Preliminary Site Plan**

In the matter of Behavioral Care Solutions, JSP20-05, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Planning Commission determination the ATM use may continue as an existing non-conforming use of the site;
- b. Continued operation of the ATM is subject to the Zoning Board of Appeals granting the necessary variances for the drive-through requirements found in Section 5.3.11 as follows:
  1. Drive-through lane not separated from egress lane.
  2. Drive-through lane encroaching into side yard parking setback.
  3. Drive-through bypass lane of 16 feet where 18 feet is required.
  4. May also require variance for not having a minimum of 3 stacking spaces.
- c. Landscape waiver for lack of greenbelt between parking and property line *because this is an existing condition of the site, which is hereby granted;*
- d. Landscape waiver for lack of greenbelt berm and all landscaping *because this is an existing condition of the site, which is hereby granted;*
- e. Landscape waiver for deficiency in perimeter trees provided *due to existing site conditions and the presence of utility easement, which is hereby granted;*
- f. Landscape waiver for parking bay greater than 15 spaces *because this is an existing condition of the site, which is hereby granted;*
- g. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- h. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

### **Approval – Stormwater Management Plan**

In the matter of Behavioral Care Solutions, JSP20-05, motion to **approve** the Stormwater Management Plan, subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

### **Denial – Preliminary Site Plan**

In the matter of Behavioral Care Solutions, JSP20-05, motion to **deny** the Preliminary Site Plan ... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Denial – Stormwater Management Plan**

In the matter of Behavioral Care Solutions, JSP20-05, motion to **deny** the Stormwater Management Plan ... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*



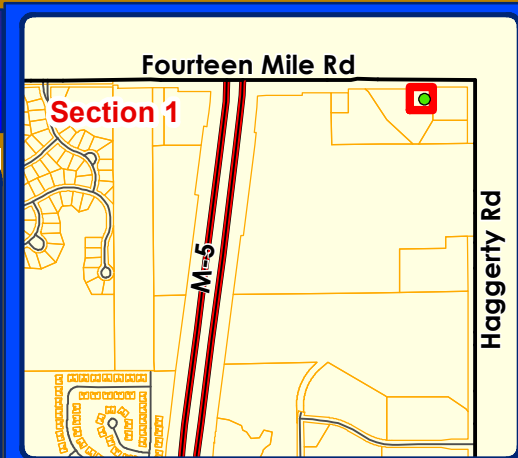
MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

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# JSP20-05 BEHAVIORAL CARE SOLUTIONS

## LOCATION



### LEGEND

 Subject Property



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Lindsay Bell  
Date: 4/30/2020  
Project: JSP 20-05 BCS  
Version #: 1



1 inch = 125 feet



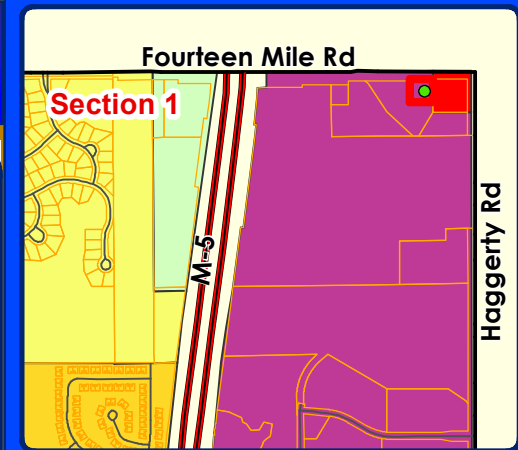
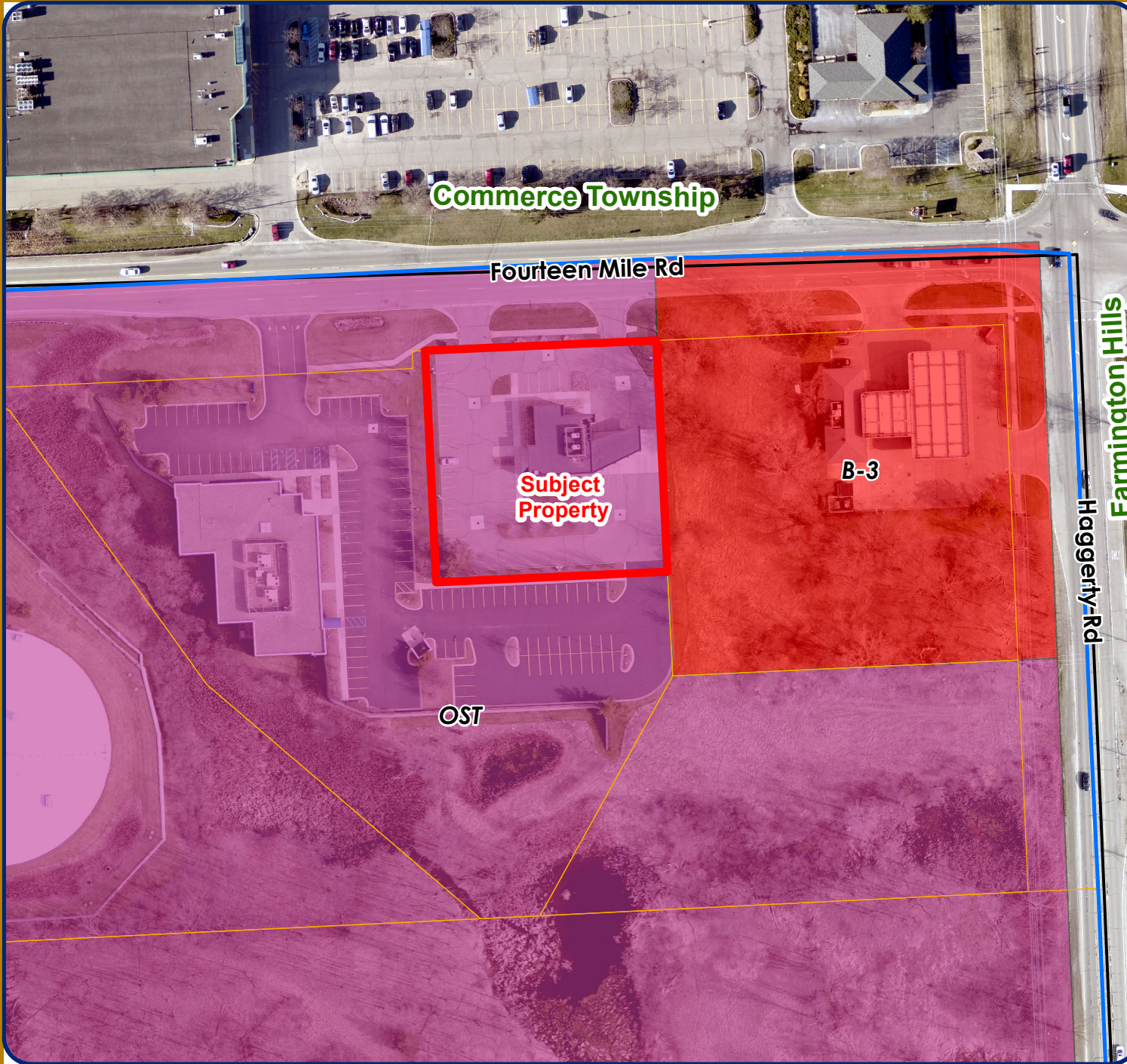
#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



# JSP20-05 BEHAVIORAL CARE SOLUTIONS

## ZONING



### LEGEND

- R-A: Residential Acreage
- R-2: One-Family Residential
- RM-1: Low-Density Multiple Family
- B-3: General Business District
- OST: Office Service Technology
- Subject Property



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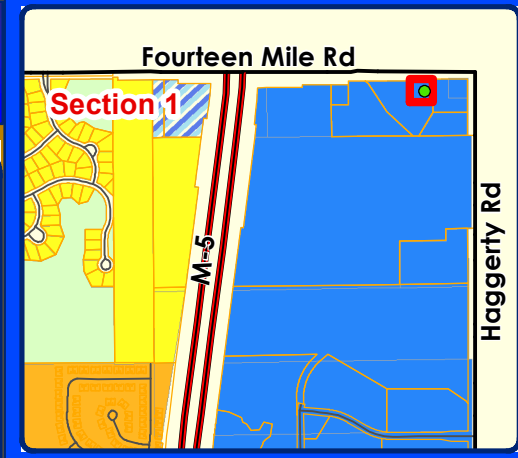
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# JSP20-05 BEHAVIORAL CARE SOLUTIONS

## FUTURE LAND USE



### LEGEND

- Single Family
- Multiple Family
- Community Office
- Office Research Development Technology
- Private Park
- Subject Property



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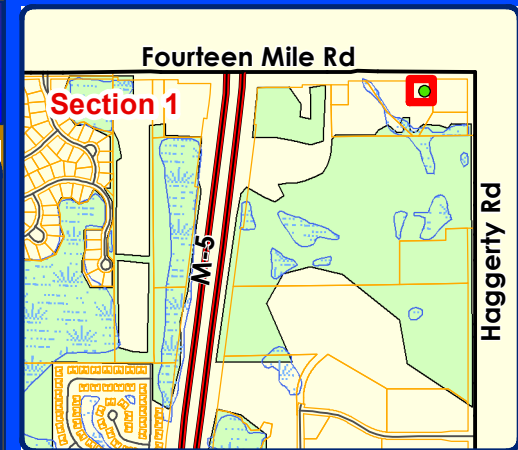
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# JSP20-05 BEHAVIORAL CARE SOLUTIONS

## NATURAL FEATURES



### LEGEND

-  WETLANDS
-  WOODLANDS
-  Subject Property



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City Hall / Civic Center  
45175 W Ten Mile Rd  
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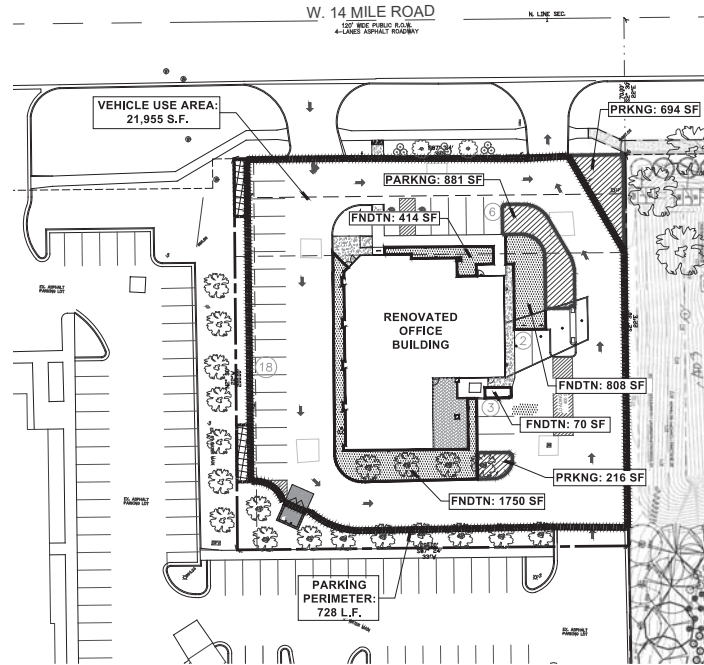


SITE PLAN



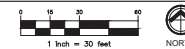






**ORDINANCE REQUIREMENT MAP**

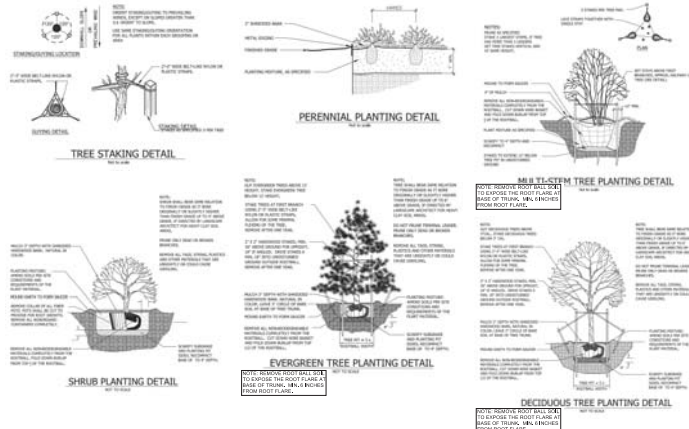
SCALE: 1" = 30'



**Landscape Waivers Requested:**

1. Contiguous Space Limit (Zoning Sec 5.5.3C.ii) Max 15 spaces - Proposed 18 due to existing parking lot condition.
2. Perimeter Parking Canopy Trees (Zoning Sec 5.5.3C.ii) Required 21 trees - Proposed 8 trees due to existing conditions.
3. Adjacent to R.O.W. (Sec 5.5.B) Required Berm - No berm due to existing condition and landscaping - no change.
4. Greenbelt Screening (Sec 5.5.3.B.ii) 20 ft. Width Required - None proposed due to existing lot conditions - no change.
5. Greenbelt Screening (Sec 5.5.3.B.ii) Berm Crest & Width - None proposed due to existing lot conditions - no change.
6. Greenbelt Screening (Sec 5.5.3.B.ii) Canopy Trees - 4 Trees Required. 2 existing trees to remain due to existing lot conditions - no change.
7. Greenbelt Screening (Sec 5.5.3.B.ii) Sub-canopy Trees - 7 Trees Required - None proposed due to existing lot conditions - no change.

**NOVI PLANTING DETAILS**



**LANDSCAPE DATA**

R.O.W. Greenbelt		PARKING LOT	
14 Mile Road Frontage: (200 In. ft. - 21 In. ft. - 32 In. ft. = 147 In. ft.)	147 In. ft.	Total Parking Area:	21,955 s.f.
Canopy/Evergreen Trees Req.:	5 Trees	Required Landscape Area:	1,647 s.f.
(1 Tree/35 In. ft.)		V.U.A. x 0.075 s.f. (up to 50,000 s.f.):	(21,979 s.f. x 0.075)
Canopy/Evergreen Trees Prov.:	*None		
Sub-Canopy Trees Req.:	8 Trees	Total s.f. of Landscape Area Prov.:	1,791 s.f.
(1 Tree/20 In. ft.)			
Sub-Canopy Trees Prov.:	*None	Parking Lot Tree Requirement:	
*Note: Existing parking lot directly adjacent to R.O.W. - no space for required plantings. All existing plants to remain.		Total Trees Required (1 per 200 s.f.):	9 Trees
		Existing Trees:	4 Trees
		Total Trees Provided:	5 Trees
<b>Street Trees</b>		<b>PARKING PERIMETER LANDSCAPING</b>	
Twelve Mile Road Frontage: (200 L.F. less 51 L.F. + 48 L.F.)	191 In. ft.	Parking Lot Perimeter:	728 L.F.
(1 Tree/35 In. ft.)		Canopy/Evergreen Trees Req.:	21 Trees
Trees Required:	3 Trees	(1 Tree/35 In. ft.)	
Total Trees Provided:	3 Trees	Trees Provided:	8 Trees*
		Existing Trees:	
		* Note: North perimeter is existing R.O.W. - west perimeter is utility easement, and east perimeter is property line.	
<b>BUILDING</b>			
Foundation Perimeter Landscaping			
Building Perimeter:	373 L.F.		
Landscape Area Req.:	2,984 s.f.		
(Building Perimeter x 8.0')			
Foundation Landscape Area Prov.:	3,042 s.f.		



NOT TO BE USED AS CONSTRUCTION DRAWING

designplanningdesign.com

**REVISIONS**

Date	Description

01-19-2020 SUBMIT FOR SITE PLAN REVIEW  
01-10-2020 REVISED PER COMMENTS  
01-23-2020 SITE PLAN APPROVAL

Designed by: S.D. Drawn by: S.D.

Approved by: S.D. Date: 01-10-2020

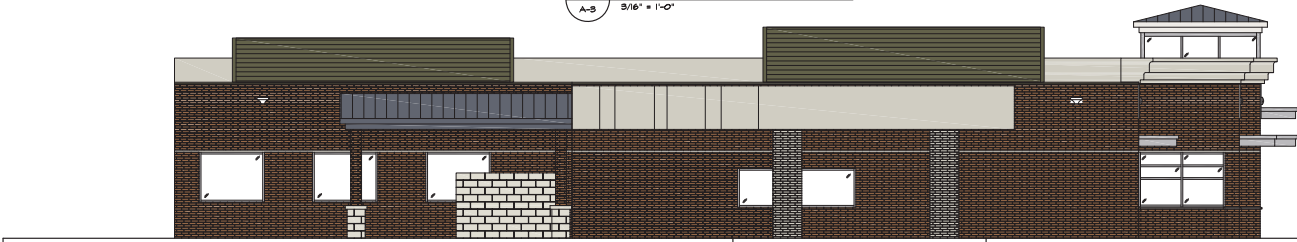
Scale:  

Job No.:  Sheet:  

DPD 152002 LP-2



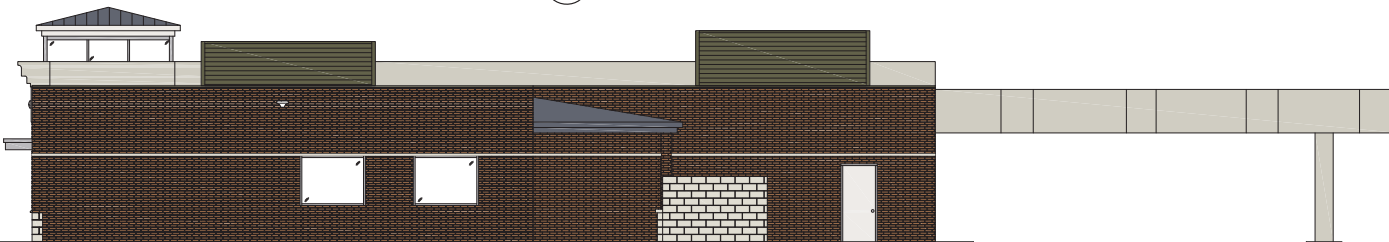
1 NORTH ELEVATION  
A-B 3/16" = 1'-0"



1 EAST ELEVATION  
A-B 3/16" = 1'-0"



1 WEST ELEVATION  
A-B 3/16" = 1'-0"



1 SOUTH ELEVATION  
A-B 3/16" = 1'-0"

**MATERIALS PERCENTAGE**

NORTH		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	561 SQ.FT.	97%
SPLIT FACE CMU	69 SQ.FT.	6%
EIPS	218 SQ.FT.	21%
RTU SCREEN	74 SQ.FT.	7%
LIMESTONE	12 SQ.FT.	7%
STANDING SEAM	11 SQ.FT.	1%
EAST		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	448 SQ.FT.	69%
SPLIT FACE CMU	69 SQ.FT.	4%
EIPS	185 SQ.FT.	19%
RTU SCREEN	296 SQ.FT.	16%
LIMESTONE	0 SQ.FT.	0%
STANDING SEAM	1 SQ.FT.	1%
WEST		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	627 SQ.FT.	91%
SPLIT FACE CMU	111 SQ.FT.	4%
EIPS	284 SQ.FT.	24%
RTU SCREEN	121 SQ.FT.	10%
LIMESTONE	56 SQ.FT.	5%
STANDING SEAM	1 SQ.FT.	1%
SOUTH		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	487 SQ.FT.	82%
SPLIT FACE CMU	62 SQ.FT.	5%
EIPS	5 SQ.FT.	1%
RTU SCREEN	146 SQ.FT.	12%
LIMESTONE	0 SQ.FT.	0%
STANDING SEAM	11 SQ.FT.	1%
TOTAL		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	3149 SQ.FT.	67%
SPLIT FACE CMU	301 SQ.FT.	6%
EIPS	707 SQ.FT.	15%
RTU SCREEN	571 SQ.FT.	8%
LIMESTONE	150 SQ.FT.	3%
STANDING SEAM	40 SQ.FT.	1%

**ARCHITECT'S DS INC.**

7300 DIXIE HWY. #600  
CLARKSTON, MI 48048  
PHONE 248.605.2030  
FAX 248.605.2030  
WEB DSARCHITECTS.COM



**BEHAVIORAL CARE SOLUTIONS**

Project: 17-40-146

5000 N. LAUREL RD.  
NORFOLK, VA 24057

Drawing Title: **ELEVATIONS**

Project Number: **17-40-146**

Drawn: KJM  
Checked: DJS  
Scale: AS NOTED  
Date: BEHAVIORAL CARE SOL.CDS

Revised: 3-18-20 DJS  
CLIENT REVIEW: 4-24-20 DJS

Sheet Number: **CS-X**  
of  
X

## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

April 13, 2020

## Planning Review

Behavioral Care Solutions

JSP 20-05

### PETITIONER

Behavioral Care Solutions

### REVIEW TYPE

Preliminary Site Plan

### PROPERTY CHARACTERISTICS

- Site Location: Section 1; South of Fourteen Mile and West of Haggerty Road
- Site School District: Walled Lake Consolidated School District
- Site Zoning: OST Office Service Technology District
- Adjoining Zoning: West: OST Office Service Technology District  
East: B-3 General Business with PRO  
North: Commerce Township jurisdiction  
South: OST Office Service Technology District
- Site Use(s): Vacant
- Adjoining Uses: West: Medical Office; East: Gas Station; North: Shopping Center;  
South: Office
- Site Size: 0.92 acres
- Building Size: 6,329 sq. ft.
- Plan Date: March 19, 2020

### PROJECT SUMMARY

The applicant is proposing to construct a 3,809 square foot addition onto an existing 2,520 square foot former bank building, for a medical office use. Minor changes to the existing parking lot are proposed, and site access points would not be modified. Stormwater would be collected by a single collection system and detained in an existing pond. The parcel is zoned OST Office Service Technology, and professional office buildings are a permitted use. A stand-alone drive-through ATM continues to operate on the site under a lease agreement with the previous owner, however that use is arguably not an accessory use to the proposed medical office use.

### RECOMMENDATION

Approval of the ***Preliminary Site Plan is recommended.*** The plan mostly conforms to the requirements of the Zoning Ordinance, with all deviations considered previously existing conditions with the exception of the ATM drive-through which is not shown on the plan. All reviewers currently recommend approval or conditional approval. **Planning Commission approval of the Preliminary Site Plan and Storm Water Management Plan is required.**

### ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to

ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal.

1. Uses Permitted (Sec. 3.1.23.B): The applicant has indicated the drive-through ATM is proposed to continue to operate. While the ATM qualified as an accessory use to the bank and was considered a permitted use, it is now not associated with an on-site use. **If the applicant intends to maintain the ATM use on the site, they shall clearly show and label the ATM on the site plan along with the drive-through requirements shown below. The Planning Commission may consider the proposed use as a part of the site plan review in order to consider the applicant's argument that the ATM is a long-standing non-conforming use of the site. At a minimum, if the applicant intends to maintain the ATM with drive-through service, the applicant shall demonstrate compliance with the requirements for the drive-through as shown below, or seek variances from the Zoning Board of Appeals.**
  
2. Drive-Through ATM (Sec. 5.3.11): The drive-through ATM was relocated to its current location on the outside drive aisle without formal review or receiving permits. **The site plan does not provide dimensions or details of the drive-through lane to demonstrate compliance with the ordinance requirements:**
  - A. *Drive-Through lanes shall be separate from the circulation routes and lanes necessary for ingress to, egress from, the property. **The drive through lane is not separate from the egress lane - variance required.***
  - B. *Drive-through lanes and stacking spaces shall be setback from the property line a distance equivalent to the minimum parking setback (OST - 20 feet parking setback). **The drive-through lane is not 20 feet from the east property line - variance required.***
  - C. *Drive-through lanes shall not utilize any space which is necessary for adequate access to parking spaces from internal maneuvering lanes. **Not adjacent to parking spaces - appears to comply. However, if all three stacking spaces were utilized, vehicles attempting to exit from the employee parking spaces on the east side of the building may have some trouble maneuvering around the waiting cars.***
  - D. *Drive-through facilities shall provide one bypass lane (minimum 18 feet) to allow unobstructed travel for vehicles to pass those waiting to be served. **Plans show a 25 foot drive aisle. If the drive-through meets the minimum width of 9 feet, the bypass lane is only 16 feet wide. Variance required.***
  - E. *Drive-through lanes are to be a minimum of 9 feet in width. **Drive-through lane must be shown on the plan. See above.***
  - F. *Drive-through lanes shall have a minimum centerline radius of 25 feet. **Dimensions not provided - appears to comply because it is not on a curve.***
  - G. *Drive-through lanes shall be striped, marked or otherwise distinctly delineated. **Drive-through lane striping must be shown on the plan. See above.***
  - H. *Drive-through stacking spaces shall have a minimum length of 19 feet. **Stacking spaces with dimensions not provided.***
  - I. *Drive-through lanes of financial institutions shall have a minimum of 3 vehicle stacking spaces, inclusive of the vehicle at the window. **Minimum of 3 stacking spaces must be shown on the plan, otherwise variance would be required.***
  
3. Bike Parking Layout (Section 5.16.6): The applicant has provided the required bicycle parking with rack detail shown on sheet SP-3. **The bicycle parking layout detail should be provided on the Final Site Plan submittal to verify conformance with ordinance requirements.**

4. Lighting (Sec. 5.7): The ratio of the average light level of the surfaces being lit to the lowest light of the surface being lit shall not exceed 4:1. The applicant's calculations show a ratio of 23:1. **The applicant shall make adjustments to the lighting plan to achieve more uniform illumination levels. In addition, parking areas shall not fall below 0.2 fc.**

### Other Reviews

- Engineering Review: Engineering review recommends approval of the Preliminary Site Plan and Storm Water Management Plan. Additional comments to be addressed with Final Site Plan submittal.
- Landscape Review: Three landscape waivers are required. Approval of the Preliminary Site Plan is recommended, contingent on the plan being modified to address concerns detailed in the Landscape Letter. Additional comments to be addressed with Final Site Plan submittal.
- Wetland Review: A Wetland Buffer Authorization will be required. ECT recommends approval of the Preliminary Site Plan, with additional comments to be addressed with Final Site Plan submittal.
- Woodland Review: No impacts to regulated woodlands are proposed.
- Traffic Review: Approval of the Preliminary Site Plan is recommended. Additional comments to be addressed with Final Site Plan submittal.
- Façade Review: The building design is in full compliance with the Façade Ordinance. Approval is recommended.
- Fire Review: Conditional approval is recommended. Additional comments to be addressed with Final Site Plan submittal.

### NEXT STEP: PLANNING COMMISSION MEETING

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This Site Plan is scheduled to go before Planning Commission for consideration on **May 6, 2020 at 7:00 p.m.** Please provide via email the following **by noon on April 29, 2020**, if you wish to keep this schedule:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (Optional to be used for Planning Commission presentation).
4. A sample board of building materials as requested by our Façade Consultant (Photo or PDF will suffice at this time).

### ZONING BOARD OF APPEALS MEETING

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If the Planning Commission approves the site plan, the applicant should then seek Zoning Board of Appeals variances for any required items. The application can be found at this [link](#). Please contact Kate Oppermann at 248-347-0459 for meeting and deadline schedules.

### FINAL SITE PLAN SUBMITTAL

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After receiving the Preliminary Site Plan approval from the Planning Commission (and Zoning Board of Appeals variances), please submit the following for Final Site Plan review and approval:

1. Five copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate

6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Hazardous Materials Packet](#) (Non-residential developments)
9. [Non-Domestic User Survey](#) (Non-residential developments)
10. [No Revision Façade Affidavit](#) (if no changes are proposed for Façade. If changes are proposed, include an additional set of plans in the submittal.)
11. Legal Documents as required
12. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

### **ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

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After receiving Preliminary/Final Site Plan approval, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

### **STAMPING SET APPROVAL**

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Stamping sets are still required for this project. After having received all of the review comments from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature)**, to the Community Development Department for final Stamping Set approval.

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

### **SIGNAGE**

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Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

### **PRE-CONSTRUCTION MEETING**

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is recommended you contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department once you receive Final Site Plan approval. Any questions regarding the Pre-Con should be directed to Sarah.

## **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org).



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Lindsay Bell – Planner





## PLANNING REVIEW CHART: Office Service Technology (OST)

**Review Date:** April 13, 2020  
**Review Type:** Preliminary Site Plan  
**Project Name:** **BEHAVIORAL CARE SOLUTIONS**  
**Plan Date:** March 19, 2020  
**Prepared by:** Lindsay Bell, AICP, Senior Planner  
**E-mail:** lbell@cityofnovi.org; **Phone:** (248) 347-0484

<b>Bold</b>	To be addressed with the next submittal
<i>Italics</i>	Notes to be noted for future submittals
<b><u>Bold and Underline</u></b>	Do not conform to the Ordinance requirements

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 26, 2017)</i>	Office research development and technology	Office	Yes	
<b>Zoning</b> <i>(Effective January 8, 2015)</i>	OST: Office Service and Technology	OST	Yes	
<b>Uses Permitted</b> <i>(Sec 3.1.23.B &amp; C)</i>	Sec. 3.1.23.B. - Principal Uses Permitted. Sec. 3.1.23.C. – Special Land Uses Permitted.	Medical Office Stand-alone drive-thru ATM	No	<b><u>Drive-thru ATM not an accessory use to the medical office. If proposed to remain, show the ATM clearly on the plans, with drive-through lane dimensions</u></b>
<b>Height, bulk, density and area limitations (Sec 3.1.23.D)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	The site has frontage and access on Fourteen Mile road	Yes	
<b>Access To Major Thoroughfare</b> <i>(Sec. 5.13)</i>	Access to Major Thoroughfare only Access to other roads only if other side of the street has multi-family or non-residential uses, or City makes a determination the property meets the requirements of this section	The site has access to Fourteen Mile Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Minimum Zoning Lot Size</b> for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
<b>Minimum Zoning Lot Size</b> for each Unit: Width in Feet (Sec 3.6.2.D)			NA	
<b>Maximum % of Lot Area Covered</b> (By All Buildings)	(Sec 3.6.2.D)	15.9 %	Yes	
<b>Building Height</b> (Sec. 3.1.23.D & Sec. 3.20.1)	46 feet or 3 stories  Additional height can be proposed if met with the conditions listed in Section 3.20	21'-6"	Yes	<b>Correct the building height discrepancy between elevation sheets and SP-2 Site Data</b>
<b>Building Setbacks</b> (Sec 3.1.23.D)				
Front @ Fourteen Mile (North)	50 ft.	50 ft.	Yes	<b>Provide proposed setback dimensions on all sides of the building.</b>
Rear South	50 ft.	50 ft.	Yes	
Side (East)	50 ft.	63 ft.	Yes	
Side (West)	50 ft.	55 ft.	Yes	
<b>Parking Setback</b> (Sec 3.1.23.D) Refer to applicable notes in Sec 3.6.2				
Front @ Fourteen Mile (North)	20 ft.	0 ft.	Yes	<i>All non-compliant parking setbacks are existing non-conforming setbacks.</i>
Rear South	20 ft.	35 ft.		
Side (East)	20 ft.	39 ft.		
Side (West)	20 ft.	6.57 ft.		
<b>OST District Required Conditions</b> (Sec 3.20)				
<b>Additional Height</b> (Sec 3.20.1)	Properties north of Grand River Avenue: Max height: 65 ft. with additional setbacks of 2 ft. for every 1 ft. in excess of 46 ft.	21'-6"	NA	
<b>Required Parking Calculation</b> (Sec 3.20.2.B)	A floor plan indicating different uses, leasable floor space used for calculating parking should be shown on the plans	Floor plans are provided	Yes	
<b>Additional conditions for permitted uses in 3.1.23.B.ii - v</b> (Sec 3.20.2.C)	Uses permitted under subsections 3.1.23.B.ii - v shall not be located on property sharing a common boundary with	Not applicable	NA	

Item	Required Code	Proposed	Meets Code	Comments
	property zoned for R-A, R-1, R-2, R-3, R-4 or MH district use unless conditions in section 3.20.2.C are met			
<b>Outdoor storage</b> (Sec 3.20.2.D)	The outdoor storage of goods or materials shall be prohibited.	Unable to determine. Appears to comply	Yes	<b>Specify where note has been added</b>
<b>Parking, Loading and Dumpster Requirements</b>				
<b>Number of Parking Spaces Professional Office</b> (Sec.5.2.12.D)	<ul style="list-style-type: none"> <li>- For buildings up to 100,000 square feet, 1 space per 222 SF GLA</li> <li>6,363 sf of office space</li> <li>Total required 29 spaces</li> </ul>	Total proposed: 29 spaces	Yes	
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	<ul style="list-style-type: none"> <li>- 90° Parking: 9 ft. x 19 ft.</li> <li>- 24 ft. two way drives</li> <li>- 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping</li> </ul>	<ul style="list-style-type: none"> <li>- 90° Parking: 9 ft. x 18.70 ft.</li> <li>- 24 ft. one way drives</li> </ul>	Yes	Some drives less than 24' – existing condition
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	<ul style="list-style-type: none"> <li>- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer</li> </ul>	Not applicable	NA	
<b>End Islands</b> (Sec. 5.3.12)	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>	End islands provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	For total 26 to 50 = 2 spaces including 2 van accessible	2 spaces are provided	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces	Both space meet van accessible dimensions	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs are proposed	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	Five (5) percent of required automobile spaces, minimum two (2) spaces For 29 Office spaces, 2 bike racks are required	2 bike spaces with one rack proposed	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16.1)</i>	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	Distance appears to be in conformance  Location within 120 feet.  Detail shown on SP-3	Yes	
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.5)</i> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not provided  The proposed location appears to be smaller than the minimum requirements	No	<b>Provide the bike parking layout plan. Indicate the sheet number where the comment is addressed (C-2 not found in plan set)</b>
<b>Loading Spaces</b> <i>Sec. 5.4.1</i>	- Within the OS districts, loading space shall be provided in the rear yard or - in the case of a double frontage lot, in the interior side yard, - in the ratio of five (5) square feet per front foot of building up to a total area of three-	A loading space is provided - 400 square feet	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	hundred sixty (360) square feet per building.			
<b>Dumpster</b> <i>Sec 4.19.2.F</i>	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft., from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Proposed in the rear yard  Maintains 10 ft. setback from the property line	Yes	
<b>Dumpster Enclosure</b> <i>Sec. 21-145. (c)</i> <i>Chapter 21 of City Code of Ordinances</i>	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Provided	Yes	
<b>Exterior lighting</b> <i>Sec. 5.7</i>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting and photometric plan is provided at this time		Refer to comments below
<b>Roof top equipment and wall mounted utility equipment</b> <i>Sec. 4.19.2.E.ii</i>	<ul style="list-style-type: none"> <li>- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building</li> </ul>	Rooftop equipment is proposed	Yes	
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Screening proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Non-Motorized Facilities</b>				
<b>Public Sidewalk</b>  Article XI. Off-Road Non-Motorized Facilities	Fourteen Mile Road: 6 feet sidewalk	A six feet sidewalk exists along Fourteen Mile Road	Yes	
<b>Pedestrian Connectivity</b>	Assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Proposed connection from the site to public sidewalk	Yes	
<b>Building Code and Other Requirements</b>				
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.	All exits appear to be connected to sidewalk	Yes	
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Legal description for the all the parcel is provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
<b>Economic Impact</b>	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Not provided	Yes	<b>Information required as part of the response letter prior to Planning Commission meeting</b>
<b>Site Addressing</b>	- The applicant should contact the Building Division for an address prior to applying for a building permit.	Not required. Existing address	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Development/ Business Sign</b>	<ul style="list-style-type: none"> <li>- Signage can be reviewed as part of the site plan to identify any potential conflicts with site elements or deviations required</li> <li>- Separate application</li> <li>- Signs shall be installed within 60 days after the permit being issued</li> <li>- A application should be submitted if a ZBA deviation is required</li> </ul>	Signage is not reviewed with this site plan.		<a href="#">For further information contact Ordinance Enforcement at 248-347-0438.</a>
<b>Project and Street naming</b>	Some projects may need approval from the Street and Project Naming Committee.	This project does not need approval of the Project Name	NA	
<b>Property Split</b>	All property splits and combination must be submitted to the Assessing Department for approval.	No split or combination proposed	NA	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided at this time	Yes	
<b>Lighting Plan (Sec. 5.7.A.i)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Provided	Yes	
<b>Lighting Plan (Sec.5.7.2.A.ii)</b>	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Fixture height	Provided	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices	Provided	Yes	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Provided	Yes	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses	Not adjacent to residential districts. 18' max shown	Yes	
<b>Standard Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Notes provided	Yes	
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred</li> </ul>	Noted	Yes	
<b>Average Light Levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Parking area: <b>23:1</b>	<b>No</b>	<b><u>Adjust lighting levels to not exceed 4:1 ratio</u></b>
<b>Type of Lamps</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
<b>Min. Illumination</b>	Parking areas: 0.2 min	0.1 min	<b>No</b>	<b>Adjust to meet min. level</b>



Item	Required Code	Proposed	Meets Code	Comments
(Sec. 5.7.3.k)	Loading & unloading areas: 0.4 min	0.5 min	Yes	
	Walkways: 0.2 min	0.2 min	Yes	
	Building entrances, frequent use: 1.0 min	1.3 min	Yes	
	Building entrances, infrequent use: 0.2 min	0.2 min	Yes	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Does not exceed 1.0	Yes	
<b>Cut off Angles</b> (Sec. 5.7.3.L)	when adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Not adjacent to residential district	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

April 9, 2020

## Engineering Review

Behavioral Care Solutions  
JSP20-0005

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### Applicant

BCS Realty LLC

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: 39465 14 Mile Road (south side of 14 Mile Road, west of Haggerty Road)
- Site Size: 0.92 acres
- Plan Date: 03/19/2020
- Design Engineer: Orman Engineering, LLC

### Project Summary

- Addition to an existing +/-2,800 square foot commercial building to a total of 6,329 square feet, along with associated parking modifications. Site access would continue to be provided by two driveways on 14 Mile Road.
- Water service would be provided by a proposed 1-inch domestic lead from an existing 8-inch water main on the adjacent parcel to the west. An existing on-site well currently serving the building will be abandoned.
- Sanitary sewer service would continue to be provided by an existing 6-inch lead to an existing 8-inch main on the adjacent parcel to the west.
- Storm water would continue to be collected by the existing storm sewer collection system. One additional structure and associated pipes will be added to replace an existing pipe that would otherwise conflict with the building expansion. A pretreatment structure will also be added to the last existing pipe prior to offsite discharge.

### Recommendation

Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.

**Comments:**

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Final Site Plan submittal:

**General**

1. Correct the "KSI DETAILS" sheet to SP-4 to match the sheet index on cover sheet.
2. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
3. Only at the time of Stamping Set submittal, provide the City's standard detail sheets for storm sewer (2 sheets- rev. 02/16/2018) and paving (2 sheets-rev. 03/05/2018). These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
4. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas (the proposed storm sewer).
5. Indicate that at least 18-inch vertical clearance will be provided between the proposed domestic water lead and the existing storm sewer at their crossing.
6. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.
7. City Engineering Division will remain in contact with the applicant regarding the ongoing Final Site Plan on the adjacent Speedway property.

**Water Main**

8. As noted on the plans, abandonment of the existing well must comply with Oakland County Health Department standards.
9. Noted that Applicant will provide a response from Commerce Township prior to the final acceptance of the plans by the City of Novi.

**Sanitary Sewer**

10. Add a detail for the cleanout to the plans.

**Storm Sewer**

11. Label storm sewer pipe lengths, materials, class, and slopes in the plan view.
12. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
13. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. In situations where the minimum cover cannot be achieved, Class V

pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.

14. Provide a 0.1-foot drop in the downstream invert of the proposed manhole, where a change in direction of greater than 30 degrees occurs.

#### **Storm Water Management Plan**

15. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
16. After review, the KSI manufactured treatment system will be allowed for this project.

#### **Paving & Grading**

17. Provide spot elevations at the intersection of the proposed sidewalk connection with the existing 14 Mile Road sidewalk. Also, switch the detectable warning surface from the intersection with existing sidewalk to the parking lot curb line (to match the proposed ramp on the other side of the aisle).
18. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls comply with Michigan Barrier-Free regulations. Show grades for top of pavement, top of walk, and existing building finish floor.
19. For proposed curb, clearly indicate standard (pitch-in) versus reverse (pitch-out) curb in the plan view.

#### **Soil Erosion and Sediment Control**

20. A SESC permit is required, due to the site being within 500 feet of a wetland. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. Please submit a SESC permit application under a separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

#### **The following must be submitted at the time of Final Site Plan submittal:**

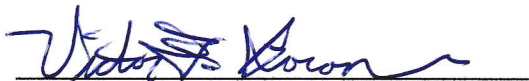
21. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
22. A recent title search and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

**The following must be addressed prior to construction:**

23. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
24. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
25. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
26. A permit for work within the right-of-way of 14 Mile Road must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
27. A permit for work within the right-of-way of 14 Mile Road must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating that all work within the road right-of-way will be constructed in accordance with RCOC standards.
28. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
29. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Victor Boron at (248) 735-5695 with any questions.



Victor Boron  
Civil Engineer

cc: Lindsay Bell, Community Development  
Ben Croy, PE, Engineering  
Kate Richardson, Engineering



## CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT: SESC Application #: SE -  
 Contact Name: DATE COMPLETED:  
 Phone Number: DATE OF PLAN:  
 Fax Number: **STATUS:**

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer’s Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show tree protection fencing and location of trees to be protected.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	
8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	

10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$ . The SESC inspection fees will be \$ .
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	.
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the edges of all water bodies, water courses or wetlands.	<input type="checkbox"/>	
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check dams as necessary. Drainage ditches steeper than 3% shall be sodded.	<input type="checkbox"/>	



28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

**ADDITIONAL COMMENTS:**

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
- 2.

Reviewed By:

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

March 24, 2020

## Preliminary Site Plan - Landscaping

Behavioral Care Solutions

### Review Type

Preliminary Landscape Review

### Job #

JSP20-0005

### Property Characteristics

- Site Location: 39465 West Fourteen Mile Road
- Site Acreage: 0.92 ac
- Site Zoning: OST
- Adjacent Zoning: North: Commerce Twp Comm, East: B-3, South, West: OST
- Plan Date: March 19, 2020

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Charts are summaries and are not intended to substitute for any Ordinance.

### Recommendation

This project is **recommended for approval for Preliminary Site Plan, assuming the landscape waivers are granted by the Planning Commission.** The minor revisions noted can be addressed on Final Site Plans.

### **LANDSCAPE WAIVERS REQUIRED FOR PROPOSED PLAN:**

1. Lack of greenbelt between property line and parking –*supported by staff as an existing condition.*
2. Lack of greenbelt berm and all landscaping (canopy and subcanopy trees) – *supported by staff as an existing condition*
3. Deficiency in perimeter trees provided – *supported by staff*
4. Parking bay is greater than 15 consecutive spaces – *supported by staff as an existing condition.*

### Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))  
Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided on Sheet 1.
2. **Please clearly indicate all existing trees to be removed on a Demolition Plan.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The site is not adjacent to residential so a screening buffer is not required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The site's existing conditions do not have any greenbelt between the right-of-way and

parking lot, nor any of the required berm, canopy or sub-canopy trees. There is some existing landscaping within the right-of-way which is shown as being preserved. The project does not change these existing conditions.

2. **A landscape waiver is requested for the lack of the greenbelt, berm and landscaping.** *As it is an existing condition, the waiver request is supported by staff.*
3. The 3 required street trees are proposed.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required parking lot interior space and trees are provided.
2. Only 8 of the required 21 perimeter trees are provided (all existing). The remaining trees can't be provided because of the lack of greenbelt on the north, no space for them along the east side of the site and a utility easement along the west side of the site. **A landscape waiver is requested for this deficiency.** *Due to these restrictions, the waiver request is supported by staff.*
3. **A landscape waiver is also requested for the 18 space parking bay along the west side of the site.** *As this is an existing condition and all of the spaces are required, the waiver request is supported by staff.*

Building foundation Landscaping (Zoning Sec 5.5.3.D)

Based on the building perimeter, 2,984 SF of landscape area is required and 3,042 SF is provided.

Plant List (LDM 2.h. and t.,4)

1. Provided
2. 8 of 16 species used (50%) are native to Michigan.
3. The diversity of trees provided is acceptable per the Tree Diversity standard.

Planting Notations and Details (LDM)

1. Provided
2. Please add standard costs for the plants and mulch used in the project and a total cost of the landscape materials ( \$400/deciduous canopy tree, \$250/ornamental tree, \$50/shrub and \$35/cyd for mulch).

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

No storm water detention basin exists or is proposed on the site so no detention basin landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. **The proposed landscaping must be provided with sufficient water to become established and survive over the long term.**
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader [meader@cityofnovi.org](mailto:meader@cityofnovi.org).



## LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY SITE PLAN

**Review Date:** March 24, 2020  
**Project Name:** JSP20 – 0005: BEHAVIORAL CARE SOLUTIONS  
**Plan Date:** March 19, 2020  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

### LANDSCAPE WAIVERS REQUIRED FOR PROPOSED PLAN:

1. Lack of greenbelt between property line and parking – *supported by staff as an existing condition.*
2. Lack of greenbelt berm and all landscaping (canopy and subcanopy trees) – *supported by staff as an existing condition*
3. Deficiency in perimeter trees provided – *supported by staff*
4. Parking bay is greater than 15 consecutive spaces – *supported by staff as an existing condition.*

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1" =20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	Scale: 1/16" =1 ft	Yes	
<b>Project Information</b> (LDM 2.d.)	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature on stamping sets	Yes	Yes	<u>Live signature required for stamping sets</u>
<b>Miss Dig Note</b> (800) 482-7171	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
(LDM.3.a.(8))				
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	<u>Shown on SP-2 Parcel: OST</u> <u>North: Commerce Twp Commercial</u> <u>East: B-3</u> <u>South, West: OST</u>	Yes	
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>	Sheet 1.0	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul>	Existing trees shown on Topographic Survey and on Landscape Plan	Yes	<ol style="list-style-type: none"> <li>1. Please provide a Demolition Plan and indicate all trees to be removed on it.</li> <li>2. Show protective tree fencing around trees to remain on Grading Plan and/or Demolition Plan.</li> </ol>
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>▪ As determined by Soils survey of Oakland county</li> <li>▪ Show types, boundaries</li> </ul>	On Sheet SP-3	Yes	
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	<ul style="list-style-type: none"> <li>• Overhead lines to remain near west property line</li> <li>• Sanitary, water and storm shown.</li> </ul>	Yes	
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	None indicated	TBD	Please shown any proposed grading contours or spot elevations on plan.
<b>Snow deposit</b> (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements</b> (LDM 1.c)	<ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>	No vegetation within the parking lot will block views	Yes	
<b>Name, type and number of ground cover</b> (LDM 1.c.(5))	As proposed on planting islands	Yes	Yes	Seed is indicated on islands.
<b>General</b> (Zoning Sec 5.5.3.C.ii)				

Item	Required	Proposed	Meets Code	Comments
<b>Parking lot Islands</b> (a, b, i)	<ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ A minimum of 200sf unpaved area per tree planted in an island</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul>	Yes	Yes	<u>Please consider adding some sort of low decorative landscaping other than lawn in northwest corner island where a tree can't be planted due to the storm line (not required)</u>
<b>Curbs and Parking stall reduction</b> (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	
<b>Contiguous space limit</b> (i)	Maximum of 15 contiguous spaces	19 is maximum bay length	No	<b>A landscape waiver is requested to leave the existing condition in place. It is supported by staff.</b>
<b>Plantings around Fire Hydrant</b> (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	No plantings are near the hydrant at the northwest corner of the site.	Yes	<b>If there is a Fire Department Connection on the building, please make sure that all plantings below or in front of it will not attain a height of more than 12".</b>
<b>Landscaped area</b> (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones</b> (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Road Commission for Oakland County clear vision zone is provided on LP-1.	Yes	<b>If the RCOC does not allow any or all of the proposed street trees, they do not need to be planted but a copy of their direction must be provided to the City.</b>
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li>• <math>A = x \text{ sf} * 7.5\% = A \text{ sf}</math></li> <li>• <math>21,879 * 7.5\% = 1641 \text{ sf}</math></li> </ul>	1791sf	Yes	
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li>• <math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li>• <math>(xxx - 50000) * 1\% = xxx \text{ sf}</math></li> </ul>	NA		
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				

Item	Required	Proposed	Meets Code	Comments
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands	$C=1641 + 0 = 1641 \text{ SF}$	1791 sf	Yes	
D = C/200 Number of canopy trees required	$D=1641/200 = 8 \text{ Trees}$	4 existing trees + 5 new trees	Yes	
<b>Perimeter Canopy Trees</b>	<ul style="list-style-type: none"> <li>▪ 1 Canopy tree per 35 lf</li> <li>▪ <math>732/35 = 21 \text{ trees}</math></li> </ul>	8 existing trees	No	<ol style="list-style-type: none"> <li>1. <b>A landscape waiver is requested for this deficiency.</b></li> <li>2. <i>As it is an existing lot that is not changing and there is insufficient room for the missing trees due to a lack of space on the east and north, and a utility easement on the west, this waiver request is supported by staff.</i></li> </ol>
<b>Access way perimeter</b>	1 canopy tree per 35 lf on each side of road, less widths of access drives.	NA		
<b>Parking land banked</b>	NA	No		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed with 6" of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.A)</b>	The site is not adjacent to residential so no screening berm is required.	None	Yes	
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List	NA		



Item	Required	Proposed	Meets Code	Comments
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>Berm requirements</b> (Zoning Sec 5.5.3.A.(5))	An undulating berm a minimum of 3 feet high with a 3 foot wide crest is required across the entire frontage	None	No	1. <b>A landscape waiver is required for this deficiency.</b> 2. <i>As it is an existing lot that is not changing and there is insufficient room for the missing berm, this waiver request is supported by staff.</i>
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet flat horizontal area</li> <li>▪ Minimum 3 feet high</li> <li>▪ Constructed of loam with 6' top layer of topsoil.</li> </ul>	None		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed		
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>				
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width</b> (2)(3) (5)	<ul style="list-style-type: none"> <li>▪ Parking: 20 ft.</li> <li>▪ No Pkg: 25 ft</li> </ul>	0 ft	No	<b>A landscape waiver is required for the lack of greenbelt.</b> <i>As it is an existing condition not being made worse, the waiver is supported by staff.</i>
Min. berm crest width	<ul style="list-style-type: none"> <li>▪ Parking: 3 ft.</li> <li>▪ No Pkg: 2 ft</li> </ul>	None	No	<b>A landscape waiver is required for the lack of greenbelt berm.</b> <i>As it is an existing condition</i>

Item	Required	Proposed	Meets Code	Comments
				<i>not being made worse, the waiver is supported by staff.</i>
Minimum berm height (9)	<ul style="list-style-type: none"> <li>▪ Parking: 3 ft.</li> <li>▪ No Pkg: 3 ft</li> </ul>	None	No	<b>See above</b>
3' wall	(4)(7)	None		
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	<ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 35 lf</li> <li>▪ 147/35 = 4 trees</li> <li>▪ No Pkg: 1 per 60 ft</li> <li>▪ xxx/60 = x trees</li> </ul>	<ul style="list-style-type: none"> <li>▪ 0 trees</li> <li>▪ Existing landscaping within the right-of-way is shown as being maintained.</li> </ul>	No	<b>A landscape waiver is required for the lack of greenbelt trees.</b> <i>As it is an existing condition not being made worse, the waiver is supported by staff.</i>
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 20 lf</li> <li>▪ 147/20 = 7 trees</li> <li>▪ No Pkg: 1 per 40 ft</li> <li>▪ xxx/40 = x trees</li> </ul>	0 trees	No	<b>A landscape waiver is required for the lack of greenbelt sub-canopy trees.</b> <i>As it is an existing condition not being made worse, the waiver is supported by staff.</i>
<b>Canopy deciduous trees in area between sidewalk and curb</b> <i>(Novi Street Tree List)</i>	<ul style="list-style-type: none"> <li>▪ Parking &amp; No Parking: 1 tree per 35 lf</li> <li>▪ 101/35 = 3 trees</li> </ul>	3 trees	Yes	If the RCOC does not allow some or all of the Road street trees, the disallowed trees do not need to be planted, but documentation of that ruling must be provided.
<b>Screening of outdoor storage, loading/unloading</b> <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		The loading zone will be screened by the large berm on the property to the east, and by the parking lot perimeter trees to the south.	Yes	
<b>Transformers/Utility boxes</b> <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> <li>▪ A minimum of 2ft. separation between box and the plants</li> <li>▪ Ground cover below 4" is allowed up to pad.</li> <li>▪ No plant materials within 8 ft. from the doors</li> </ul>	<ul style="list-style-type: none"> <li>▪ A wall will screen the west and south sides of the transformer.</li> <li>▪ It is unclear whether the screening on the east side is sufficient.</li> </ul>	TBD	<b>Please ensure that all screening is at least the height of the transformer.</b>
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	<ul style="list-style-type: none"> <li>▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>▪ A: 373 lf x 8ft = 2984 SF</li> </ul>	A: 3042 sf	Yes	

Item	Required	Proposed	Meets Code	Comments
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	It appears that over 60% of the building frontage facing 14 Mile Road will be landscaped.	Yes	
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements (Sec. 5.5.3.E.iv)</b>	<ul style="list-style-type: none"> <li>▪ Clusters of large native shrubs shall cover 70-75% of the basin rim area</li> <li>▪ 10" to 14" tall grass along sides of basin</li> <li>▪ Refer to wetland for basin mix</li> </ul>	There is no above-ground detention on the site, or proposed.	Yes	If any above-ground detention is proposed, please landscape it per the ordinance.
<b>Phragmites Control (Sec 5.5.6.C)</b>	<ul style="list-style-type: none"> <li>▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey.</li> <li>▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	It doesn't appear that <i>Phragmites</i> would exist on the site, but a note stating that there is not any is not provided.	TBD	<ol style="list-style-type: none"> <li>1. Please survey the site for any populations of <i>Phragmites australis</i> and submit plans for its removal.</li> <li>2. If none is found, please indicate that on the survey or landscape plan</li> </ol>
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date (LDM 2.i. &amp; Zoning Sec 5.5.5.B)</b>	Provide intended date	Between Apr 15 and Nov 15.	Yes	
<b>Maintenance &amp; Statement of intent (LDM 2.m &amp; Zoning Sec 5.5.6)</b>	<ul style="list-style-type: none"> <li>▪ Include statement of intent to install and guarantee all materials for 2 years.</li> <li>▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source (LDM 2.n &amp; LDM 3.a.(2))</b>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan (LDM 2.s.)</b>	A fully automatic irrigation system or alternate method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	No	No	<ol style="list-style-type: none"> <li>1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</u></li> <li>2. <u>If xeriscaping is used, please provide</u></li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<u>information about plantings included.</u>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) – Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> <li>▪ 8 of 16 species (50%) are native to Michigan.</li> <li>▪ The diversity of the trees provided is satisfactory.</li> </ul>	Yes	
Type and amount of lawn		Seed	Yes	<u>Please add areas of each in cost table.</u>
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	No	No
<b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp; Existing Plant Material</b> (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Please show the trees to be removed on the Demolition Plan.	Yes	
<b>Landscape tree credit</b> (LDM3.b.(d))	Substitutions to landscape standards for	None		

Item	Required	Proposed	Meets Code	Comments
	preserved canopy trees outside woodlands/ wetlands should be approved by LA.			
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	2.5" canopy trees 6' evergreen trees	Yes	Yes	
<b>Plant size credit</b> (LDM3.c.(2))	NA	No		
<b>Prohibited Plants</b> (LDM 3.d)	No plants on City Invasive Species List	No prohibited plants are proposed	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities	No trees are proposed near utility lines	Yes	
<b>Collected or Transplanted trees</b> (LDM 3.f)		None		
<b>Nonliving Durable Material: Mulch</b> (LDM 4)	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>	Yes	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## TRAFFIC REVIEW

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AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP20-05 – Behavioral Care Solutions  
Preliminary Site Plan Traffic Review

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**From:**  
AECOM

**Date:**  
April 9, 2020

**CC:**  
Lindsay Bell, Kate Richardson, Madeleine Kopko,  
Victor Boron

# Memo

Subject: JSP20-05 – Behavioral Care Solutions Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, BCS Realty, LLC is proposing an addition to an existing building. The total building size, including the addition is proposed to be 6,329 SF.
2. The development is located on the south side of 14 Mile Road, west of Haggerty Road. The segment of 14 Mile Road is under the jurisdiction of Oakland County.
3. The site is currently zone OST (Office Service Technology) and no zoning changes are proposed.
4. There are no traffic-related waivers/variances required at this time.

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10<sup>th</sup> Edition, as follows:

ITE Code: 720 Medical-Dental Office Building  
Development-specific Quantity: 6,329 SF  
Zoning Change: None

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	19	15	100	No
PM Peak-Hour Trips	23	17	100	No

<b>Daily (One-Directional) Trips</b>	156	N/A	750	No
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- The trip generation values do not exceed the City’s thresholds. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements.

<b>Trip Impact Study Recommendation</b>	
<b>Type of Study:</b>	<b>Justification</b>
<b>None</b>	-

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The applicant is not proposing any changes to the two (2) existing external access points.

## INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- The applicant is proposing varying aisle widths, from 19.51’ to 25.37’. The wider than standard areas are due to existing infrastructure and so are acceptable. The narrower than standard areas are all one way operations and are also acceptable.
- The applicant has indicated a trash receptacle. The positioning conflicts with vehicle movement while in use, due to the one-way circulation. The applicant should either ensure the operations of trash removal do not occur during business hours or relocate the trash receptacle.
- The applicant has indicated a loading zone and provided truck turning movements to confirm accessibility.
- The applicant has indicated they intend to maintain the currently existing drive-through ATM. Low usage is reported by the applicant (approximately five (5) vehicles in two (2) hours) and the parking spaces near the ATM are to be reserved for employee use.
- Parking Facilities**
  - The applicant should refer to the Planning Review letter for information related to parking space requirements within and around the site.
  - The applicant is removing one parking space from the existing row of 19 spaces along the west side of the site, for a total of 18.
  - The applicant has indicated 6” proposed curb heights.
  - The applicant is proposing two (2) accessible spaces.
    - The applicant has indicated the locations of sidewalk ramps near the accessible parking spaces.
    - The applicant has indicated which space is van accessible.
  - The applicant has indicated two (2) proposed bicycle parking spaces.
    - The applicant should indicate layout of bicycle parking in future submittals. Refer to Section 5.16 of the City’s Zoning Ordinance for City requirements.
      - The height of the bike rack meets the requirement of 36”.
      - Note that a six foot accessible route is required from the adjacent street to the bicycle parking facilities.
- Sidewalk Requirements**
  - The applicant has indicated a proposed sidewalk connection to the site from the existing sidewalk along 14 Mile Road. A proposed sidewalk ramp should be included at this connection to meet the proposed ramp on the other side of the aisle.



- i. The applicant has included the latest Michigan Department of Transportation (MDOT) sidewalk ramp detail for type R but should include any other information from the detail that is applicable.
- b. The applicant should include all proposed sidewalk width dimensions in future submittals.

## SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD).
  - a. The applicant has indicated proposed signs on the site plans with a signing quantities table. The table should include additional details (proposed size) in future submittals.
  - b. The applicant should indicate any existing signs that are to be removed.
2. The applicant should indicate all of the proposed signing on site and provide notes and details related to the proposed signing.
  - a. Traffic control signs shall use the FHWA Standard Alphabet series.
  - b. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
3. The applicant has included the following notes.
  - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
  - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
  - c. The applicant should indicate that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
4. The applicant should include details for the proposed color of the pavement markings. The applicant has indicated striping shall be 4" wide.
  - a. The standard parking spaces shall be striped with white stripes.
  - b. The accessible parking spaces and associated aisle should be striped with blue stripes.
  - c. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
5. The applicant has provided a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.

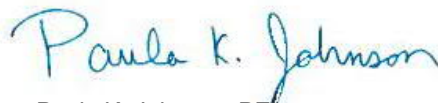
Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Patricia Thompson, EIT  
Traffic Engineer



Paula K. Johnson, PE  
Senior Traffic Engineer

## FAÇADE REVIEW

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April 7, 2020

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

*Façade Review Status Summary:*  
**Approved, Full Compliance**

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan Review**  
**Behavioral Care Solutions, JSP20-05**  
 Façade Region: 1, Zoning District: OST

Dear Ms. McBeth:

The following is the Façade Review for Final Site Plan for the above referenced project based on the drawings prepared by D.S INC Architects Inc., dated 3/19/20. The percentages of materials proposed for each façade are as shown in the tables below. Materials in non-compliance, if any, are highlighted in bold. A color sample board as required by Section 5.15.4.D of the Façade Ordinance was not provided at the time of this review.

	North (Front)	East	West	South	Ordinance Maximum (Minimum)
Brick	54%	63%	48%	78%	100% (30%)
Split Façade CMU	6%	4%	9%	5%	10%
EIFS	22%	14%	24%	1%	25%
Limestone	7%	0%	5%	0%	50%
Standing Seam	1%	1%	1%	1%	25%
Flat Metal Panels (RTU Screens and Canopies)	10%	18%	13%	15%	50%

This project consists of the renovation of an existing structure with an addition. Virtually all existing façade materials are proposed to be replaced as part of the renovation. Therefore, this application has been treated as a new building with respect to the Façade Ordinance. As shown above, all materials are in full compliance with the Façade Ordinance.

**Notes to the Applicant:**

1. Façade Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

2. Dumpster Enclosure – The dumpster enclosure indicated on Sheet SP-3 is proposed to be constructed of brick to match the building, and is full compliance with the Façade Ordinance.

3. The proposed and existing roof screens should substantially match with respect to color and metal panel profile.

4. A sample board as required by Section 5.15.4.D should be provided not less than 5 days before the Planning Commission meeting.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

## FIRE REVIEW

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April 2, 2020

TO: Barbara McBeth- City Planner  
Lindsay Bell-Plan Review Center  
Madeleine Kopko-Planning Assistant

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
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**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
John B. Martin

RE: Behavioral Care Solutions

**PSP#20-0023**  
PSP#20-0006

**Project Description:**

Add a 6373 sq. ft. to an existing building off of Fourteen Mile west of Haggerty.

**Comments:**

Meets fire department standards

**Recommendation:**

APPROVED

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER

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April 20, 2020

Ms. Lindsay Bell, Planner  
**City of Novi Planning Department**  
45175 W. Ten Mile Road  
Novi, Michigan 48375

Re: **JSP20-0005 Behavioral Care Solutions – Landscape**

Dear Ms. Bell:

We have received the Preliminary Site Plan Review for the Behavioral Care Solutions addition & renovations per the review packet dated April 13, 2020. Our responses to the Landscape Plan review comments are listed below:

**LANDSCAPE ITEMS:**

**A. Landscape Waivers**

1. Noted.
2. Noted.
3. Noted.
4. Noted.

**B. Existing & Proposed Utilities**

1. Noted.

**C. Existing Trees**

1. Noted.
2. Trees to be removed to be indicted on Demolition Plan for Final Site Plan Approval.

**D. Residential Buffer**

1. Noted.

**E. Adjacent. To Public R.O.W.**

1. Noted.
2. Noted.
3. Noted.

**F. Parking Lot**

1. Noted.
2. Noted.
3. Noted.

**G. Building Foundation**

1. Noted.

**H. Plant List**

1. Noted.
2. Noted.
3. Noted.



**G. Planting Notations & Details**

1. Noted.
2. All standard unit costs and totals provided in Plant List.

**H. Storm Basin**

1. Noted.

**I. Proposed Grading**

1. Noted.

**J. Fire Hydrants**

1. Noted.

**K. Clear Zones**

1. Noted.

**L. Transformer**

1. Noted.

**M. Phragmites Control**

1. Noted.

If you have any questions, please feel free to contact me at your convenience.

Sincerely,



Steve Deak, LLA, LEED AP  
**Deak Planning + Design, LLC**

## RESPONSE LETTER

1. Uses Permitted (Sec. 3.1.23.B): The applicant has indicated the drive-through ATM is proposed to continue to operate. While the ATM qualified as an accessory use to the bank and was considered a permitted use, it is now not associated with an on-site use. **If the applicant intends to maintain the ATM use on the site, they shall clearly show and label the ATM on the site plan along with the drive-through requirements shown below. The Planning Commission may consider the proposed use as a part of the site plan review in order to consider the applicant's argument that the ATM is a long-standing non-conforming use of the site. At a minimum, if the applicant intends to maintain the ATM with drive-through service, the applicant shall demonstrate compliance with the requirements for the drive-through as shown below, or seek variances from the Zoning Board of Appeals. The applicant will seek variances from the Zoning Board of Appeals.**
2. Drive-Through ATM (Sec. 5.3.11): The drive-through ATM was relocated to its current location on the outside drive aisle without formal review or receiving permits. **The site plan does not provide dimensions or details of the drive-through lane to demonstrate compliance with the ordinance requirements:**
  - A. *Drive-Through lanes shall be separate from the circulation routes and lanes necessary for ingress to, egress from, the property.* **The drive through lane is not separate from the egress lane – variance required. So noted**
  - B. *Drive-through lanes and stacking spaces shall be setback from the property line a distance equivalent to the minimum parking setback (OST – 20 feet parking setback).* **The drive-through lane is not 20 feet from the east property line – variance required. So noted**
  - C. *Drive-through lanes shall not utilize any space which is necessary for adequate access to parking spaces from internal maneuvering lanes.* **Not adjacent to parking spaces - appears to comply. However, if all three stacking spaces were utilized, vehicles attempting to exit from the employee parking spaces on the east side of the building may have some trouble maneuvering around the waiting cars. Based on long-standing monitoring of the ATM traffic, no more than five cars in the two hours was observed.**
  - D. *Drive-through facilities shall provide one bypass lane (minimum 18 feet) to allow unobstructed travel for vehicles to pass those waiting to be served.* **Plans show a 25 foot drive aisle. If the drive-through meets the minimum width of 9 feet, the bypass lane is only 16 feet wide. Variance required. So noted**
  - E. *Drive-through lanes are to be a minimum of 9 feet in width.* **Drive-through lane must be shown on the plan. See above. So noted**
  - F. *Drive-through lanes shall have a minimum centerline radius of 25 feet.* **Dimensions not provided – appears to comply because it is not on a curve. So noted**
  - G. *Drive-through lanes shall be striped, marked or otherwise distinctly delineated.* **Drive-through lane striping must be shown on the plan. See above. So noted**
  - H. *Drive-through stacking spaces shall have a minimum length of 19 feet.* **Stacking spaces with dimensions not provided. So noted**
  - I. *Drive-through lanes of financial institutions shall have a minimum of 3 vehicle stacking spaces, inclusive of the vehicle at the window.* **Minimum of 3 stacking spaces must be shown on the plan, otherwise variance would be required. So noted**
3. Bike Parking Layout (Section 5.16.6): The applicant has provided the required bicycle parking with rack detail shown on sheet SP-3. **The bicycle parking layout detail should be provided on the Final Site Plan submittal to verify conformance with ordinance requirements. So noted**

4. Lighting (Sec. 5.7): The ratio of the average light level of the surfaces being lit to the lowest light of the surface being lit shall not exceed 4:1. The applicant's calculations show a ratio of 23:1. **The applicant shall make adjustments to the lighting plan to achieve more uniform illumination levels. In addition, parking areas shall not fall below 0.2 fc. Plans will be revised and provided with the Final Site Plan Submittal**

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> (adopted July 26, 2017)	Office research development and technology	Office	Yes	
<b>Zoning</b> (Effective January 8, 2015)	OST: Office Service and Technology	OST	Yes	
<b>Uses Permitted</b> (Sec 3.1.23.B & C)	Sec. 3.1.23.B. - Principal Uses Permitted. Sec. 3.1.23.C. – Special Land Uses Permitted.	Medical Office Stand-alone drive-thru ATM	<b>No</b>	<b><u>Drive-thru ATM not an accessory use to the medical office.</u></b> <b><u>If proposed to remain, show the ATM clearly on the plans, with drive-through lane dimensions</u></b> <b>See response above</b>
<b>Height, bulk, density and area limitations (Sec 3.1.23.D)</b>				
<b>Frontage on a Public Street.</b> (Sec. 5.12)	Frontage on a Public Street is required	The site has frontage and access on Fourteen Mile road	Yes	
<b>Access To Major Thoroughfare</b> (Sec. 5.13)	Access to Major Thoroughfare only Access to other roads only if other side of the street has multi-family or non-residential uses, or City makes a determination the property meets the requirements of this section	The site has access to Fourteen Mile Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Minimum Zoning Lot Size</b> for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
<b>Minimum Zoning Lot Size</b> for each Unit: Width in Feet (Sec 3.6.2.D)			NA	
<b>Maximum % of Lot Area Covered</b> (By All Buildings)	(Sec 3.6.2.D)	15.9 %	Yes	
<b>Building Height</b> (Sec. 3.1.23.D & Sec. 3.20.1)	46 feet or 3 stories  Additional height can be proposed if met with the conditions listed in Section 3.20	21'-6"	Yes	<b>Correct the building height discrepancy between elevation sheets and SP-2 Site Data. The Site Data will be corrected.</b>
<b>Building Setbacks</b> (Sec 3.1.23.D)				
Front @ Fourteen Mile (North)	50 ft.	50 ft.	Yes	<b>Provide proposed setback dimensions on all sides of the building. The proposed setback dimensions will be added</b>
Rear South	50 ft.	50 ft.	Yes	
Side (East)	50 ft.	63 ft.	Yes	
Side (West)	50 ft.	55 ft.	Yes	
<b>Parking Setback</b> (Sec 3.1.23.D) Refer to applicable notes in Sec 3.6.2				
Front @ Fourteen Mile (North)	20 ft.	0 ft.	Yes	All non-compliant parking setbacks are existing non-conforming setbacks.
Rear South	20 ft.	35 ft.		
Side (East)	20 ft.	39 ft.		
Side (West)	20 ft.	6.57 ft.		
<b>OST District Required Conditions</b> (Sec 3.20)				
<b>Additional Height</b> (Sec 3.20.1)	Properties north of Grand River Avenue: Max height: 65 ft. with additional setbacks of 2 ft. for every 1 ft. in excess of 46 ft.	21'-6"	NA	
<b>Required Parking Calculation</b> (Sec 3.20.2.B)	A floor plan indicating different uses, leasable floor space used for calculating parking should be shown on the plans	Floor plans are provided	Yes	
<b>Additional conditions for permitted uses in 3.1.23.B.ii - v</b> (Sec 3.20.2.C)	Uses permitted under subsections 3.1.23.B.ii - v shall not be located on property sharing a common boundary with	Not applicable	NA	

Item	Required Code	Proposed	Meets Code	Comments
	property zoned for R-A, R-1, R-2, R-3, R-4 or MH district use unless conditions in section 3.20.2.C are met			
<b>Outdoor storage</b> (Sec 3.20.2.D)	The outdoor storage of goods or materials shall be prohibited.	Unable to determine. Appears to comply	Yes	<b>Specify where note has been added The note has been shown on sheet SP-2 under Site Data information.</b>
<b>Parking, Loading and Dumpster Requirements</b>				
<b>Number of Parking Spaces Professional Office</b> (Sec.5.2.12.D)	- For buildings up to 100,000 square feet, 1 space per 222 SF GLA 6,363 sf of office space  Total required 29 spaces	Total proposed: 29 spaces	Yes	
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	- 90° Parking: 9 ft. x 18.70 ft. - 24 ft. one way drives	Yes	Some drives less than 24' – existing condition
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Not applicable	NA	
<b>End Islands</b> (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	End islands provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	For total 26 to 50 = 2 spaces including 2 van accessible	2 spaces are provided	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces	Both space meet van accessible dimensions	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs are proposed	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	Five (5) percent of required automobile spaces, minimum two (2) spaces For 29 Office spaces, 2 bike racks are required	2 bike spaces with one rack proposed	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16.1)</i>	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	Distance appears to be in conformance  Location within 120 feet.  Detail shown on SP-3	Yes	
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.5)</i> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not provided  The proposed location appears to be smaller than the minimum requirements	<b>No</b>	<b>Provide the bike parking layout plan. Indicate the sheet number where the comment is addressed (C-2 not found in plan set) It was a typo with the sheet reference. The bike parking layout has been shown on sheet SP-2</b>
<b>Loading Spaces</b> <i>Sec. 5.4.1</i>	- Within the OS districts, loading space shall be provided in the rear yard or - in the case of a double frontage lot, in the interior side yard, - in the ratio of five (5) square feet per front foot of building up to a total area of three-	A loading space is provided - 400 square feet	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	hundred sixty (360) square feet per building.			
<b>Dumpster</b> <i>Sec 4.19.2.F</i>	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft., from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Proposed in the rear yard  Maintains 10 ft. setback from the property line	Yes	
<b>Dumpster Enclosure</b> <i>Sec. 21-145. (c)</i> <i>Chapter 21 of City Code of Ordinances</i>	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Provided	Yes	
<b>Exterior lighting</b> <i>Sec. 5.7</i>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting and photometric plan is provided at this time		Refer to comments below
<b>Roof top equipment and wall mounted utility equipment</b> <i>Sec. 4.19.2.E.ii</i>	- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Rooftop equipment is proposed	Yes	
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Screening proposed	Yes	



Item	Required Code	Proposed	Meets Code	Comments
<b>Non-Motorized Facilities</b>				
<b>Public Sidewalk</b>  Article XI. Off-Road Non-Motorized Facilities	Fourteen Mile Road: 6 feet sidewalk	A six feet sidewalk exists along Fourteen Mile Road	Yes	
<b>Pedestrian Connectivity</b>	Assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Proposed connection from the site to public sidewalk	Yes	
<b>Building Code and Other Requirements</b>				
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.	All exits appear to be connected to sidewalk	Yes	
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Legal description for the all the parcel is provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
<b>Economic Impact</b>	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Not provided	Yes	<b>Information required as part of the response letter prior to Planning Commission meeting</b> <b>Total cost of the proposed building and site improvements is \$520,000. Number of anticipated jobs created: New building will employ 10-12 people</b> <b>During construction +/- 35-42 will be employed.</b>
<b>Site Addressing</b>	- The applicant should contact the Building Division for an address prior to applying for a building permit.	Not required. Existing address	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Development/ Business Sign</b>	<ul style="list-style-type: none"> <li>- Signage can be reviewed as part of the site plan to identify any potential conflicts with site elements or deviations required</li> <li>- Separate application</li> <li>- Signs shall be installed within 60 days after the permit being issued</li> <li>- A application should be submitted if a ZBA deviation is required</li> </ul>	Signage is not reviewed with this site plan.		<a href="#">For further information contact Ordinance Enforcement at 248-347-0438.</a>
<b>Project and Street naming</b>	Some projects may need approval from the Street and Project Naming Committee.	This project does not need approval of the Project Name	NA	
<b>Property Split</b>	All property splits and combination must be submitted to the Assessing Department for approval.	No split or combination proposed	NA	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided at this time	Yes	
<b>Lighting Plan (Sec. 5.7.A.i)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Provided	Yes	
<b>Lighting Plan (Sec.5.7.2.A.ii)</b>	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Fixture height	Provided	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices	Provided	Yes	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Provided	Yes	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses	Not adjacent to residential districts. 18' max shown	Yes	
<b>Standard Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Notes provided	Yes	
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred</li> </ul>	Noted	Yes	
<b>Average Light Levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Parking area: <b>23:1</b>	<b>No</b>	<b><u>Adjust lighting levels to not exceed 4:1 ratio</u></b> <b><u>The revised plans will be provided with the Final Site Plan submittal.</u></b>
<b>Type of Lamps</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
<b>Min. Illumination</b>	Parking areas: 0.2 min	0.1 min	<b>No</b>	<b>Adjust to meet min. level</b> <b>The revised plans will be provided with the Final Site Plan submittal.</b>

Item	Required Code	Proposed	Meets Code	Comments
(Sec. 5.7.3.k)	Loading & unloading areas: 0.4 min	0.5 min	Yes	
	Walkways: 0.2 min	0.2 min	Yes	
	Building entrances, frequent use: 1.0 min	1.3 min	Yes	
	Building entrances, infrequent use: 0.2 min	0.2 min	Yes	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Does not exceed 1.0	Yes	
<b>Cut off Angles</b> (Sec. 5.7.3.L)	when adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Not adjacent to residential district	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

**Comments:**

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Final Site Plan submittal: **All comments listed below will be addressed with the Final Site Plan Submittal.**

**General**

1. Correct the "KSI DETAILS" sheet to SP-4 to match the sheet index on cover sheet.
2. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
3. Only at the time of Stamping Set submittal, provide the City's standard detail sheets for storm sewer (2 sheets- rev. 02/16/2018) and paving (2 sheets-rev. 03/05/2018). These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
4. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas (the proposed storm sewer).
5. Indicate that at least 18-inch vertical clearance will be provided between the proposed domestic water lead and the existing storm sewer at their crossing.
6. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.
7. City Engineering Division will remain in contact with the applicant regarding the ongoing Final Site Plan on the adjacent Speedway property.

**Water Main**

8. As noted on the plans, abandonment of the existing well must comply with Oakland County Health Department standards.
9. Noted that Applicant will provide a response from Commerce Township prior to the final acceptance of the plans by the City of Novi.

**Sanitary Sewer**

10. Add a detail for the cleanout to the plans.

**Storm Sewer**

11. Label storm sewer pipe lengths, materials, class, and slopes in the plan view.
12. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
13. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. In situations where the minimum cover cannot be achieved, Class V

pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.

14. Provide a 0.1-foot drop in the downstream invert of the proposed manhole, where a change in direction of greater than 30 degrees occurs.

### **Storm Water Management Plan**

15. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
16. After review, the KSI manufactured treatment system will be allowed for this project.

### **Paving & Grading**

17. Provide spot elevations at the intersection of the proposed sidewalk connection with the existing 14 Mile Road sidewalk. Also, switch the detectable warning surface from the intersection with existing sidewalk to the parking lot curb line (to match the proposed ramp on the other side of the aisle).
18. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls comply with Michigan Barrier-Free regulations. Show grades for top of pavement, top of walk, and existing building finish floor.
19. For proposed curb, clearly indicate standard (pitch-in) versus reverse (pitch-out) curb in the plan view.

### **Soil Erosion and Sediment Control**

20. A SESC permit is required, due to the site being within 500 feet of a wetland. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. Please submit a SESC permit application under a separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

### **The following must be submitted at the time of Final Site Plan submittal:**

21. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
22. A recent title search and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

**The following must be addressed prior to construction:**

23. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
24. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
25. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
26. A permit for work within the right-of-way of 14 Mile Road must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
27. A permit for work within the right-of-way of 14 Mile Road must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating that all work within the road right-of-way will be constructed in accordance with RCOC standards.
28. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
29. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

## INTERNAL SITE OPERATIONS

*The following comments relate to the on-site design and traffic flow operations.*

1. The applicant is proposing varying aisle widths, from 19.51' to 25.37'. The wider than standard areas are due to existing infrastructure and so are acceptable. The narrower than standard areas are all one way operations and are also acceptable. **So noted**
2. The applicant has indicated a trash receptacle. The positioning conflicts with vehicle movement while in use, due to the one-way circulation. The applicant should either ensure the operations of trash removal do not occur during business hours or relocate the trash receptacle. **The operations of trash removal will not occur during business hours.**
3. The applicant has indicated a loading zone and provided truck turning movements to confirm accessibility. **No comments.**
4. The applicant has indicated they intend to maintain the currently existing drive-through ATM. Low usage is reported by the applicant (approximately five (5) vehicles in two (2) hours) and the parking spaces near the ATM are to be reserved for employee use. **No comments**
5. Parking Facilities
  - a. The applicant should refer to the Planning Review letter for information related to parking space requirements within and around the site. **So noted**
  - b. The applicant is removing one parking space from the existing row of 19 spaces along the west side of the site, for a total of 18. **No comments**
  - c. The applicant has indicated 6" proposed curb heights. **No comments**
  - d. The applicant is proposing two (2) accessible spaces. **No comments**
    - i. The applicant has indicated the locations of sidewalk ramps near the accessible parking spaces.
    - ii. The applicant has indicated which space is van accessible.
  - e. The applicant has indicated two (2) proposed bicycle parking spaces.
    - i. The applicant should indicate layout of bicycle parking in future submittals. Refer to Section 5.16 of the City's Zoning Ordinance for City requirements. **More details will be provided with the Final Site Plan submittal.**
      1. The height of the bike rack meets the requirement of 36". **So noted**
      2. Note that a six foot accessible route is required from the adjacent street to the bicycle parking facilities. **Has been provided.**
6. Sidewalk Requirements
  - a. The applicant has indicated a proposed sidewalk connection to the site from the existing sidewalk along 14 Mile Road. A proposed sidewalk ramp should be included at this connection to meet the proposed ramp on the other side of the aisle. **The revised plans will be provided with the Final Site Plan submittal.**



- i. The applicant has included the latest Michigan Department of Transportation (MDOT) sidewalk ramp detail for type R but should include any other information from the detail that is applicable.  
**The revised plans will be provided with the Final Site Plan Submittal.**
- b. The applicant should include all proposed sidewalk width dimensions in future submittals. **The revised plans will be provided with the Final Site Plan Submittal**

## SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD).
  - a. The applicant has indicated proposed signs on the site plans with a signing quantities table. The table should include additional details (proposed size) in future submittals. **The revised plans will be provided with the Final Site Plan Submittal**
  - b. The applicant should indicate any existing signs that are to be removed. **The revised plans will be provided with the Final Site Plan Submittal**
2. The applicant should indicate all of the proposed signing on site and provide notes and details related to the proposed signing. **The revised plans will be provided with the Final Site Plan Submittal**
  - a. Traffic control signs shall use the FHWA Standard Alphabet series.
  - b. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
3. The applicant has included the following notes. **The revised plans will be provided with the Final Site Plan Submittal**
  - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
  - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
  - c. The applicant should indicate that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
4. The applicant should include details for the proposed color of the pavement markings. The applicant has indicated striping shall be 4" wide. **The revised plans will be provided with the Final Site Plan Submittal**
  - a. The standard parking spaces shall be striped with white stripes.
  - b. The accessible parking spaces and associated aisle should be striped with bluestripes.
  - c. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
5. The applicant has provided a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners. **The revised plans will be provided with the Final Site Plan Submittal**

## FAÇADE MATERIALS

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April 24, 2020

Lindsay Bell  
Planner  
City of Novi  
45175 Ten Mile Rd.  
Novi, MI 48375

RE: Building addition at 39465 W. 14 Mile Rd. 20-05 Behavioral Care Solutions – JSP 20-05

Dear Lindsay,

In response to the latest review letters we are providing the following information.

1. PDF copies of all the exterior finish materials.

Please let me know if you have any comments or questions,

Sincerely,

*Derek Slupka*

Derek Slupka  
Architect

# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### CMU Block



---

### Specifications

'Grand Blanc Cement Products'

Splitface

White



# Behavioral Care Solutions Material Finishes

April 23, 2020

Existing Brick



Accent Brick



---

## Specifications

Manufacturer: TBD

White

Belden Brick

Alaska White Dart-tex

7 5/8" x 3 5/8" x 2 1/4"



# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### Metal Roof



---

### Specifications

'ATAS International, Inc.'

Standing Seam- Colonial Seam

24 ga. Metallic Coated Steel

12" O.C.

Standard Finish

Charcoal Grey (62)



# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### Store Front/ Awning



---

### Specifications

Clear Anodized Aluminum

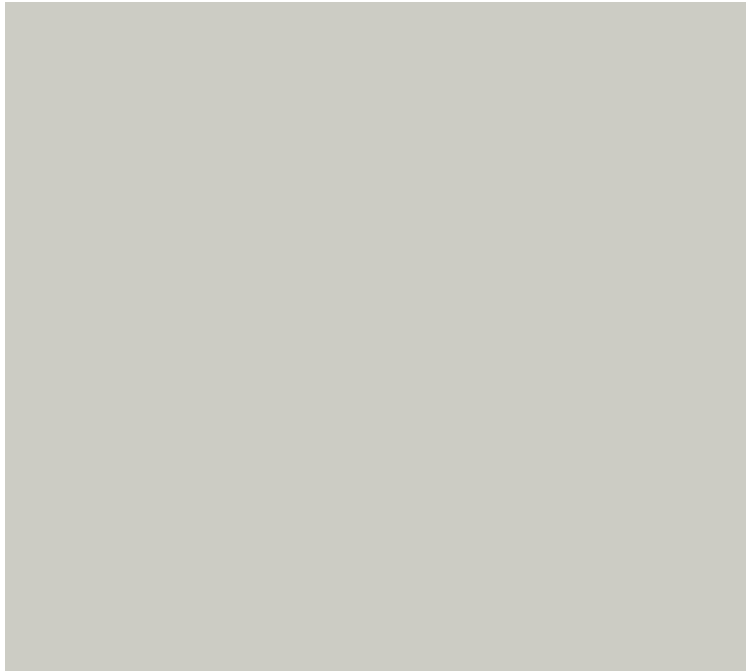


# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### Cornice Color



---

### Specifications

'Sherwin Williams'

SW 7651 Front Porch

Eggshell



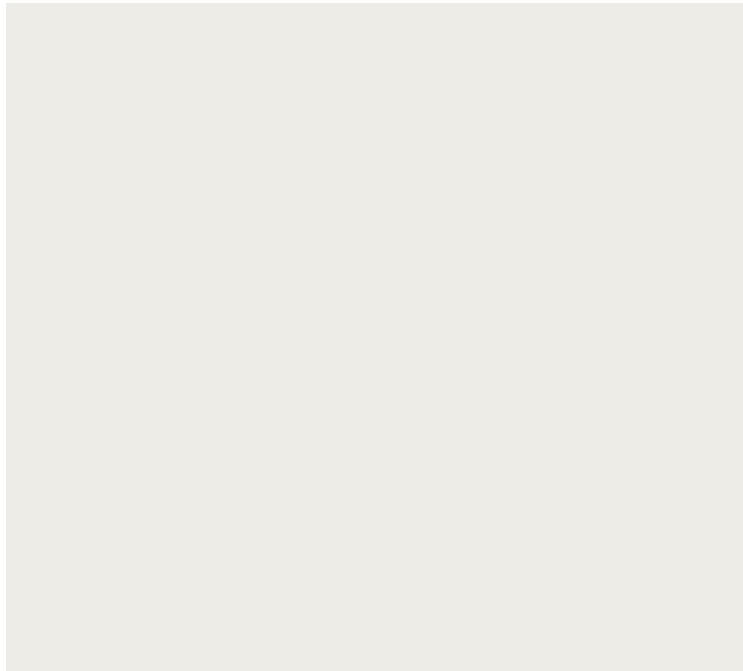


# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### EIFS Tower Paint



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### Specifications

'Sherwin Williams'

SW 7651 Front Porch

Eggshell

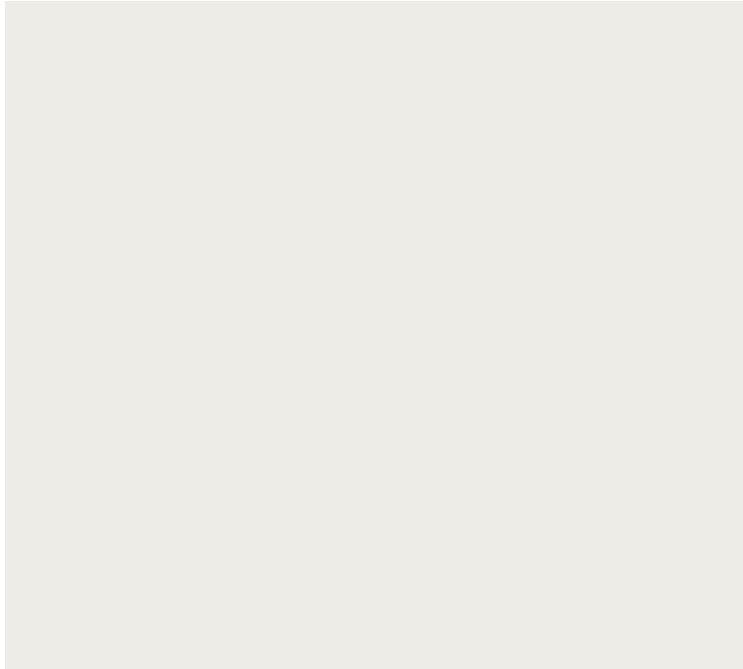


# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### Exterior Doors/ Frames



---

### Specifications

'Sherwin Williams'

SW 7005 Pure White

Eggshell



# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### Limestone Light Detail



---

### Specifications

'Coronado Stone Products'

Smooth Limestone

White Sands



# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### Precast Sill



---

### Specifications

'Arriscraft'

GS315 White Rocked

5 1/2" W x 3 1/8" H x 23 5/8" L



# Behavioral Care Solutions

## Material Finishes

April 23, 2020

### Metal Roof Top Screening



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### Specifications

'ATAS International, Inc.'

Opaline OPW

Concealed Fastener

24 ga. Metallic Coated Steel

Medium Bronze (03)

Smooth Texture



**BUILDING ADDITION**  
**Section 1, City of Novi,**  
**Oakland County, MI**  
**PRELIMINARY SITE PLAN**  
 Prepared For  
**Behavioral Care Solutions**

**OWNER**

Behavioral Care Solutions  
 39465 W. 14 Mile Rd.  
 Novi, MI 48377

Robert A. Clemente  
 Phone: (248) 859-3900  
 Fax: (888) 483-0118

**CIVIL ENGINEER**

Orman Engineering, LLC  
 5476 Vivian Lane  
 Waterford, MI 48327  
 Phone (248) 682-6001  
 Email: alex@ormanengineering.com

Contact: Mr. Alexander Orman, P.E.

**ARCHITECT**

DS Architects  
 7300 Dixie Hwy.  
 Clarkston, MI 48346

Derek Slupka  
 Phone: (248) 605-2030  
 Cell Phone: (248) 310-3899

**LANDSCAPE ARCHITECT**

Deak Planning & Design  
 Steve Deak, RLA, LEED AP

Phone: (866) 355-4202  
 Cell Phone: (248) 444-7892



**SHEET INDEX**

NO.	SHEET NAME
SP-1	COVER SHEET
SP-2	SITE PLAN
SP-3	DETAILS
SP-4	KSI DETAILS
SP-5	TRUCK ROUTE PLAN
1	TOPOGRAPHIC/BOUNDARY SURVEY
A-3	FLOOR PLAN
A-8	ELEVATIONS
LP-1	SITE LANDSCAPE
LP-2	LANDSCAPE REQUIREMENTS / CITY SPECS.
V-2	PHOTOMETRIC PLAN (2 SHEETS)

**ISSUANCE DATE:**

DATE	REVISION OR SUBMITTAL
01/23/2020	SUBMITTAL FOR PRE-APPLICATION REVIEW
03/19/2020	SUBMITTAL FOR SITE PLAN REVIEW

**LEGAL DESCRIPTION**

LEGAL DESCRIPTION: WARRANTY DEED LIBER 53148, PAGE 565  
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. DESCRIBED AS: BEGINNING AT A POINT DISTANCE SOUTH 87 DEGREES 24 MINUTES 33 SECONDS WEST 360.00 FEET AND SOUTH 02 DEGREES 30 MINUTES 22 SECONDS EAST 70.00 FEET FROM THE NORTHEAST SECTION CORNER; THENCE SOUTH 02 DEGREES 30 MINUTES 22 SECONDS EAST 200.00 FEET; THENCE SOUTH 87 DEGREES 24 MINUTES 33 SECONDS WEST 200.00 FEET; THENCE NORTH 02 DEGREES 30 MINUTES 22 SECONDS WEST 200.00 FEET; THENCE NORTH 87 DEGREES 24 MINUTES 33 SECONDS EAST 200.00 FEET TO BEGINNING.

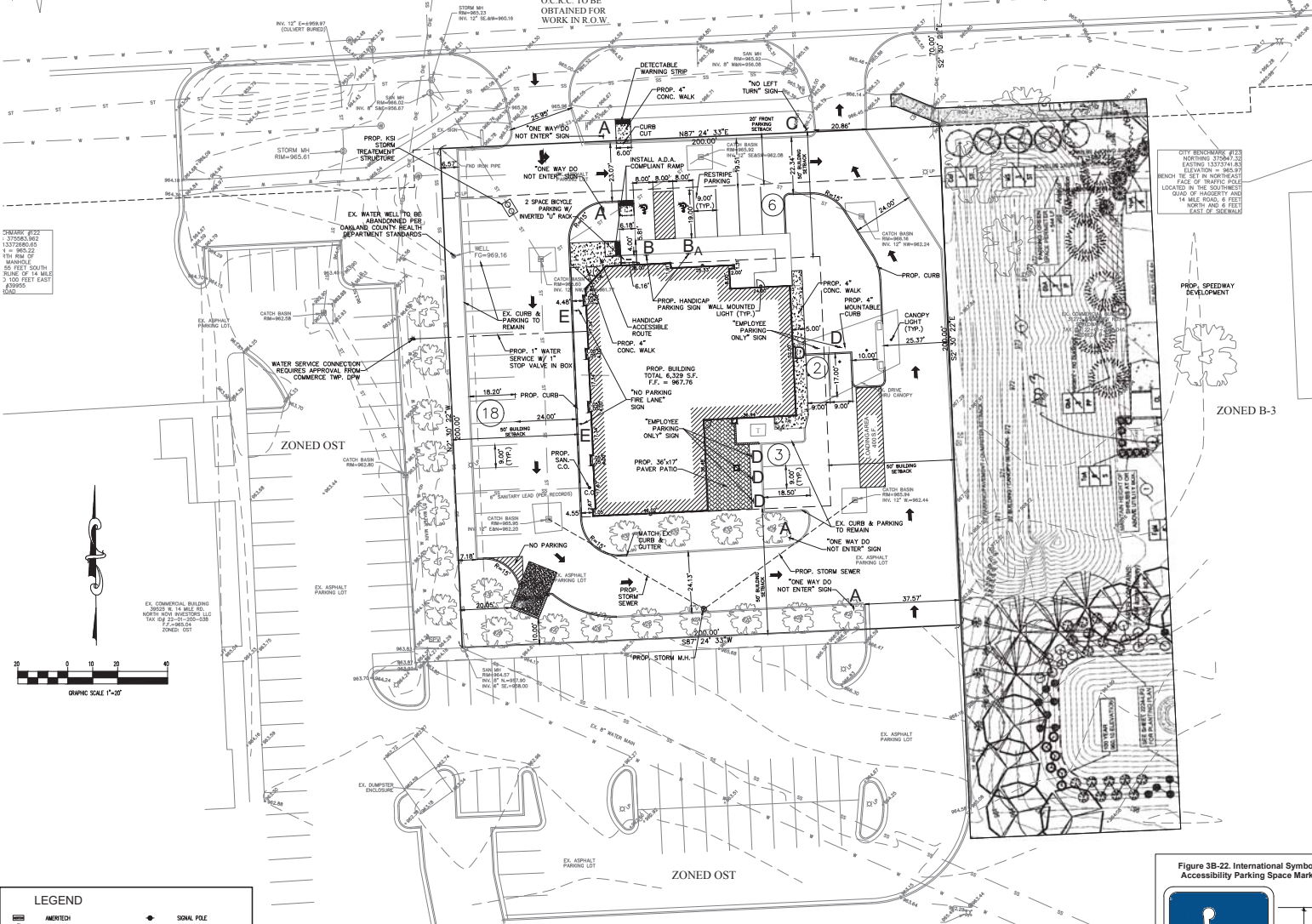


Civil Engineers - Land Planning  
 Land Surveying

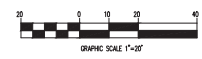
Orman Engineering, LLC  
 5476 Vivian Lane  
 Waterford, MI 48327  
 phone: 248.682.6001  
 email: alex@ormanengineering.com



CORNER  
SECTION 1  
P.S.E. 1  
CO., MI  
P. ROAD



22000' 0.00  
1377000.00  
1377000.00  
14 1/4" = 100'-0"  
MANHOLE  
60 FEET SOUTH  
LINE OF 14 MILE  
3 1/2 FEET WEST  
820000

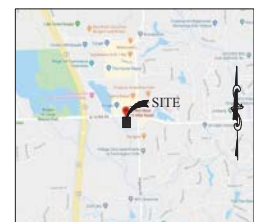


LEGEND	
	AMENITY
	WATER SHUT OFF
	TELEPHONE RISER
	TELEPHONE
	SEWER CLEAN OUT
	GAS METER
	GAS VALVE/GAS MARKER
	MANHOLE COVER
	CATCH BASIN COVER
	GATE VALVE IN WELL (GVV)
	FIRE HYDRANT
	STORM MANHOLE COVER (SM)
	FENCE POST
	UTILITY POLE
	UTILITY POLE W/ LAMP EXTENSION
	SIGNAL POLE
	PUBLIC LIGHTING POLE
	ELECTRIC RISER OF METER
	ELECTRIC PROTECTION
	GUY WIRE
	HIGH TENSION TOWER
	FLAG POLE
	GUARD/METAL POST
	STEEL COLUMN
	MAILBOX
	ELECTRIC TRANSFORMER
	EXISTING FENCE POST
	PROPOSED FENCE POST
	UTILITY POLE W/ LAMP EXTENSION
	WATER FLOW INDICATOR

EXISTING	PROPOSED
	GAS
	SANITARY SEWER
	STORM SEWER
	WATERMAIN
	OVERHEAD WIRE
	UNDERGROUND CABLE
	ELECTRIC STREET LIGHT
	ELECTRIC TRANSFORMER
	EXISTING FENCE POST
	PROPOSED FENCE POST
	CHAIN LINK FENCE
	SAND BASE/FILL UNDER PAVEMENT

PAVING LEGEND	
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	CURB
	GUTTER

**LIGHTING NOTES:**  
 1. HOURS OF LIGHTING OPERATION SHALL BE FROM 6 P.M. TO 7:30 A.M.  
 2. POLE MOUNTED LIGHTS SHALL NOT EXCEED 25' MAXIMUM HEIGHT.  
 3. LIGHTS ARE SHIELDED.



LOCATION MAP  
N.T.S.

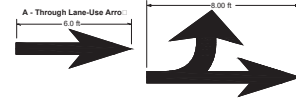
**SITE DATA**

EXISTING SITE ZONING: OST - RETAIL SERVICE OVERLAY  
 EXISTING SITE AREA:  
 GROSS: 40,000 S.F. OR 0.92 ACRES  
 NET: 40,000 S.F. OR 0.92 ACRES  
 PROPOSED ADDITION (GROSS): 2,520 S.F.  
 PROPOSED ADDITION (NET): 2,520 S.F.  
 TOTAL PROPOSED BUILDING (GROSS): 6,329 S.F.  
 BLDG LT COVERAGE: 15.9%  
 REQUIRED BUILDING SETBACKS:  
 FRONT: 50'  
 SIDE: 50'  
 REAR: 50'  
 PARKING REQUIREMENTS:  
 REQUIRED: 1 SPACE PER 222 S.F. GROSS LEASEABLE AREA  
 TOTAL: 6,329 / 222 = 29 SPACES  
 PROPOSED: 29 SPACES  
 OUTDOOR STORAGE:  
 REQUIRED: NOT REQUIRED  
 PROPOSED: NOT PROPOSED  
 LOADING AREA:  
 REQUIRED: 400 S.F.  
 PROPOSED: 400 S.F.  
 PRESENT USE OF PROPERTY: MEDICAL OFFICE BUILDING  
 PROPOSED USE OF PROPERTY: MEDICAL OFFICE BUILDING  
 NOTE: ROOF TOP APPURTENANCES WILL BE SCREENED (SEE ARCHITECTURAL ELEVATIONS)  
 LEGAL DESCRIPTION: WARRANTY NEED LIBER 53148, PAGE 565  
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANCE SOUTH 87 DEGREES 24 MINUTES 33 SECONDS WEST 360.00 FEET AND SOUTH 02 DEGREES 30 MINUTES 22 SECONDS EAST 70.00 FEET FROM THE NORTHEAST SECTION CORNER; THENCE SOUTH 02 DEGREES 30 MINUTES 22 SECONDS EAST 200.00 FEET; THENCE SOUTH 87 DEGREES 24 MINUTES 33 SECONDS WEST 200.00 FEET; THENCE NORTH 02 DEGREES 30 MINUTES 22 SECONDS WEST 200.00 FEET; THENCE NORTH 87 DEGREES 24 MINUTES 33 SECONDS EAST 200.00 FEET TO BEGINNING.  
 TAX ID# 22-01-200-037

**SIGNAGE SCHEDULE**

ITEM	QUANTITY
A	4
B	1
Ba	1
C	1
D	5
E	2

- NOTES:  
 1. ALL SIGNS TO BE MOUNTED AT 7 FEET ABOVE FINAL GRADE TO BOTTOM OF SIGN.  
 2. ALL SIGNS SHALL BE PLACED AT 2 FEET FROM THE FACE OF CURB OR THE EDGE OF THE NEAREST WALK TO THE NEAR EDGE OF THE SIGN.  
 3. SINGLE SIGNS WITH DIMENSIONS OF 12" x 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 B. U-CHEMEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12" x 18" SHALL BE MOUNTED ON A GALVANIZED 3 B. OR GREATER U-CHEMEL POST.



PAVEMENT MARKINGS SHALL BE WHITE EXCEPT ACCESSIBLE PARKING STRIPING SHALL BE 4" WIDE



Orman Engineering, LLC  
 5476 Vivian Lane  
 Waterford, MI 48327  
 phone: 248.682.6001  
 email: alex@ormanengineering.com

PROJECT: BUILDING ADDITION

CLIENT: Behavioral Care Solutions  
 39465 W. 14 Mile Rd.  
 Novi, MI 48377  
 Robert A. Clemente  
 Project: (248) 859-3900  
 Fax: (888) 483-0118

SEAL:

SHEET: SITE PLAN

PROJECT LOCATION:  
 Section 1  
 39465 W. 14 Mile Rd.  
 Novi, MI 48377

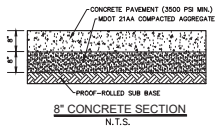


REVISIONS

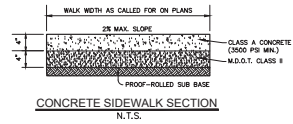
NO.	DATE	DESCRIPTION

DATE	SUB. FOR	REV.
01-19-2020	SUB. FOR SITE PLAN	REV.
01-23-2020	SUB. FOR PRE-APP.	REV.

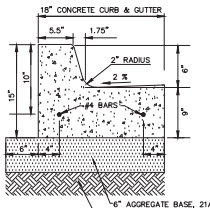
Designed by: A.O.  
 Drawn by: S.D.M.  
 Approved by: A.O.  
 Date: 01-15-2020  
 Scale: 1" = 20'  
 Job No.:  
 Sheet:



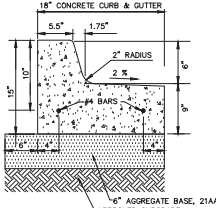
**8" CONCRETE SECTION**  
N.T.S.



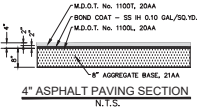
**CONCRETE SIDEWALK SECTION**  
N.T.S.



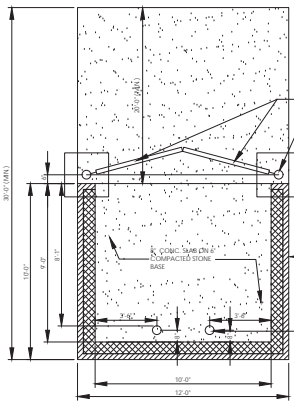
**CONCRETE CURB DETAIL A**  
N.T.S.



**CONCRETE CURB DETAIL B**  
N.T.S.

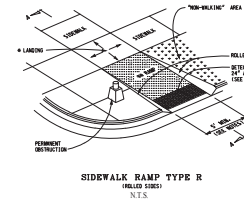


**4\"/>**



**Dumpster Enclosure Plan**  
N.T.S.

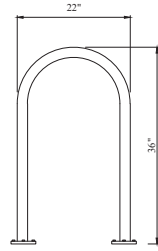
• MINIMUM FINISH SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. SLOPES SHOWN OTHERWISE ARE 1%.  
• SEE NOTES TO THE CURB FINISH SLOPE TO DETERMINE THE 1% TO 2% DIRECTION. "MINIMUM FINISH SLOPE" DOES NOT INCLUDE 4" LANDING.  
• MINIMUM RAMP CROSS SLOPE IS 2% RAMPING SLOPE OR 1% TO 2% MINIMUM, SEE NOTES.



**SIDWALK RAMP TYPE R**  
N.T.S.

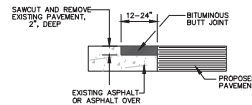
**TYPICAL "INVERTED U" BICYCLE RACK**

TO BE PLACED ON EXISTING PAVEMENT

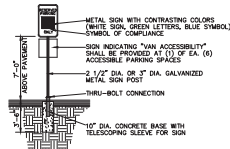


N.T.S.

THE CONTRACTOR IS REQUIRED TO COLD MIX EX. HOT MIX ASPHALT PAVEMENT TO PROVIDE A LEVEL AND BUTT JOINT. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION. ALL PAVEMENT PATCHES WILL REQUIRE A BUTT JOINT.



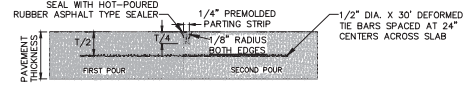
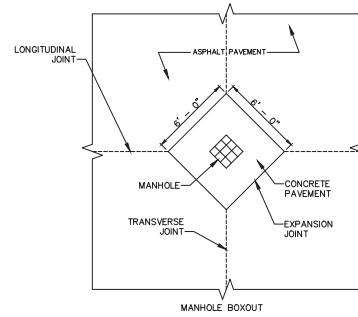
**BUTT JOINT DETAIL**  
NOT TO SCALE



**BARRIER FREE PARKING SIGN DETAIL**  
N.T.S.

Provide (1) for each accessible parking space

GENERAL NOTES:  
1. ALL EXTERIOR MATERIALS TO MATCH BUILDING. IF THERE IS NO BUILDING TO MATCH, MATCH MASONRY.  
2. ADHERE TO ALL LOCAL ORDINANCES AND DESIGN REQUIREMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.



**STRUCTURE BOXOUT DETAIL**  
N.T.S.



**Map Unit Legend**

Map Unit Symbol	Map Unit Name	Acres in ACI	Percent of ACI
10B	Marble sandy loam, 1 to 6 percent slopes	29.2	33.4
10C	Marble sandy loam, 6 to 12 percent slopes	21.5	24.6
10D	Marble loam, 12 to 18 percent slopes	4.1	4.7
11B	Capex sandy loam, 0 to 4 percent slopes	10.6	12.1
12	Brookston and Colwood loams	3.1	3.6
27	Foughton and Adrian musks	6.4	7.3
36A	Madeline sandy loam, 0 to 5 percent slopes	7.3	8.3
42	Pits	0.1	0.1
44B	Rodde sandy loam, 1 to 6 percent slopes	2.7	3.1
BrtsdB	Blount loam, 0 to 4 percent slopes	2.8	2.9
Totals for Area of Interest		87.9	100.0

**SCHEDULE**

USE  
STORM SEWER:  
WATER SERVICE:

MA  
C76 CL IV RCP  
1" TYPE "K" COPPER



Orman Engineering, LLC  
5478 Vivian Lane  
Waterford, MI 48327  
phone: 248.682.6001  
email: alex@ormanengineering.com

PROJECT  
BUILDING ADDITION

CLIENT  
Behavioral Care Solutions  
39465 W. 14 Mile Rd.  
Novi, MI 48377

Robert A. Clemente  
Phone: (248) 859-3900  
Fax: (888) 483-0118

SEAL

SHEET  
DETAILS

PROJECT LOCATION  
39465 W. 14 Mile Rd.  
Novi, MI 48377



Know what's Below  
Call before you dig.

**REVISIONS**

Date	Description

01-19-2020 SUB. FOR SITE PLAN REV.

01-23-2020 SUB. FOR PRE-APP. REV.

Date Description

Designed by Drawn by

A.O. S.D.M.

Approved by Date:

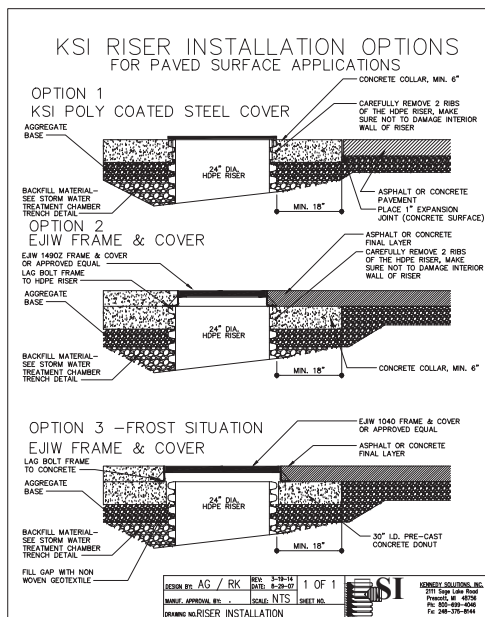
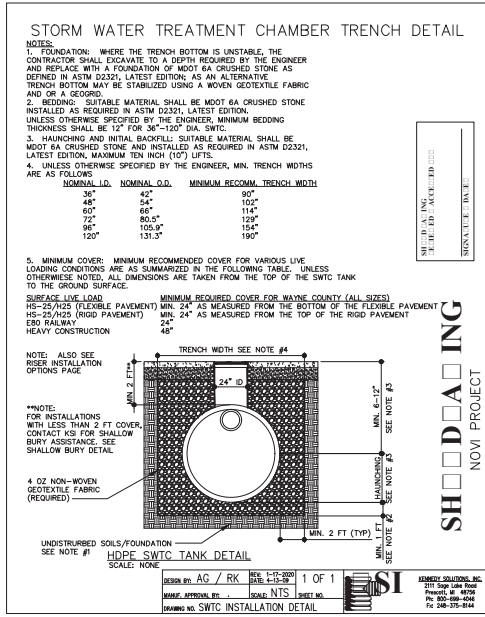
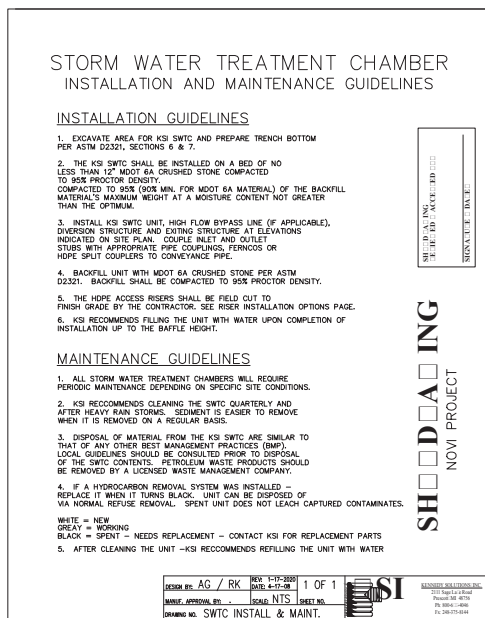
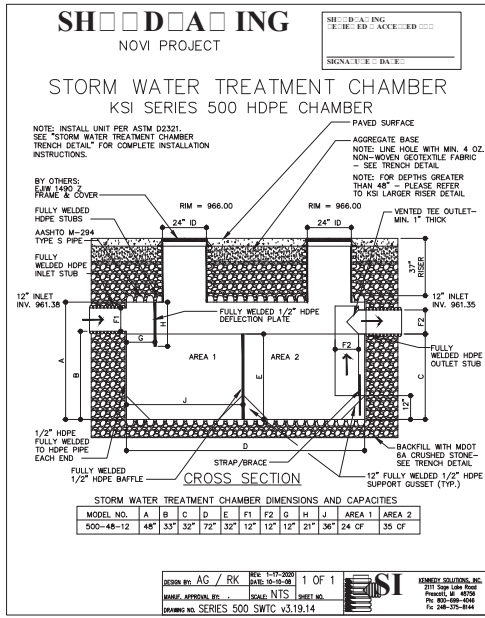
A.O. 01-15-2020

Scale:

1" = 20'

Job No. Sheet

1265 SP-3



### SI Series S T

#### sed n r n r t r l e s e

Station	Project
NDC Station	Detroit City Airport
Data Range: 5.5 yrs of 15 min. precipitation data	
Site Area (acres)	0.92
Runoff Coeff.	0.78
Desired Minimum Removal Efficiency	80
KSI Model	
Net Annual TSS Removal Effici.	84.57
30% Available Storage Capacity (gallons)	
Setpoint Storage Capacity (cu. Yds)	

NSR#	Interval Point (in./hr.)	Operating Rate (cfs)	Total Rainfall (")	Removal Efficiency (%)	Relative Efficiency (%)
0.080	0.0574	14.40	97.03	33.38	
0.160	0.1148	18.20	94.12	17.13	
0.240	0.1722	9.40	91.28	8.58	
0.320	0.2296	5.70	89.50	5.04	
0.400	0.2870	3.30	85.78	2.83	
0.480	0.3444	3.10	83.13	2.58	
0.560	0.4018	2.20	80.55	1.77	
0.640	0.4593	3.10	78.03	2.22	
0.720	0.5167	2.70	75.57	1.69	
0.800	0.5741	1.60	73.18	1.17	
0.880	0.6315	2.00	70.86	1.42	
0.960	0.6889	1.50	68.60	0.98	
1.040	0.7463	1.50	66.40	1.00	
1.120	0.8037	1.20	64.27	0.77	
1.200	0.8611	1.50	62.20	0.81	
1.280	0.9185	1.10	60.20	0.68	
1.360	0.9759	0.90	58.24	0.56	
1.440	1.0333	0.70	56.35	0.38	
1.520	1.0908	0.70	54.50	0.38	
1.600	1.1482	0.50	52.74	0.24	
2.000	1.4352	2.00	45.10	0.30	
2.400	1.7222	0.80	38.38	0.31	
2.800	2.0093	0.20	34.47	1.07	
Total					
Cumulative Rainfall = 96.80					
Net Annual = 84.57					

**NOTE:** Removal efficiency is calculated based on field test results on the 1500 Unit for a 75 micron particle size. Equation of a best fit curve through the data and scaled to a 500 Unit is shown below.

$$y = 9.8234x^2 - 52.351x + 100$$

y = removal efficiency in %  
 x = operating rate (cfs)

**Engineering**

Orman Engineering, LLC  
 5476 Vivian Lane  
 Waterford, MI 48327  
 phone: 248.682.6001  
 email: alex@ormanengineering.com

PROJECT: BUILDING ADDITION

CLIENT: Behavioral Care Solutions  
 39465 W. 14 Mile Rd.  
 Novi, MI 48377

Robert A. Clemente  
 Phone: (248) 859-3900  
 Fax: (888) 483-0118

SEAL

SHEET: SI DETAILS

PROJECT LOCATION: 39465 W. 14 Mile Rd., Novi, MI 48377

811 Know what's Below Call before you dig.

REVISIONS:

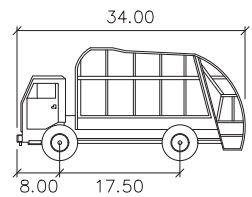
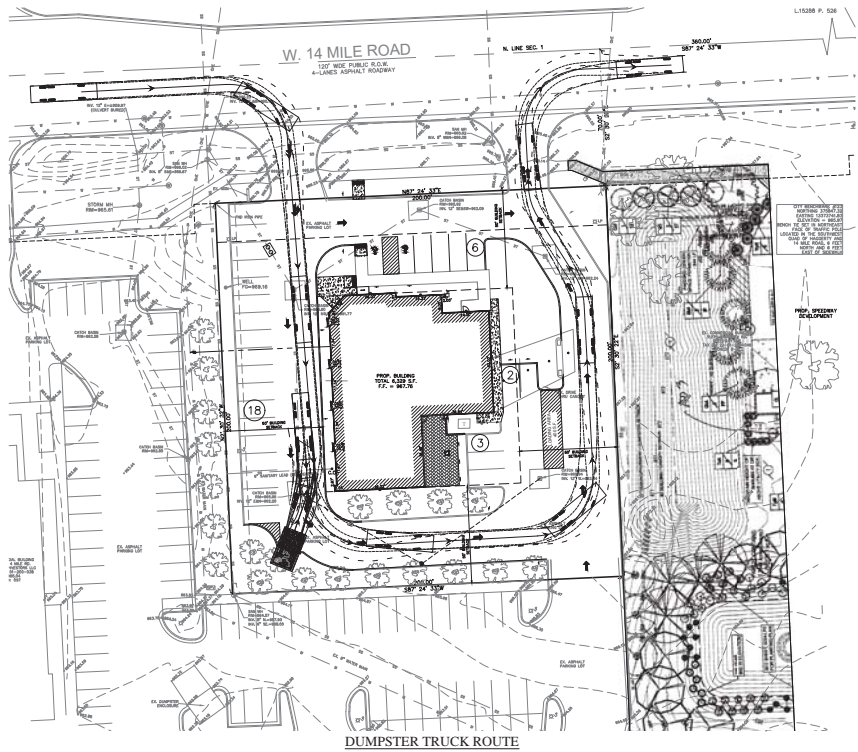
Date	Description	Designed by	Drawn by
03-19-2020	SUB. FOR SITE PLAN REV.		
03-23-2020	SUB. FOR PRE-APP. REV.		

Approved by: Date: A.O. S.D.M. 01-15-2020

Scale: 1" = 20'

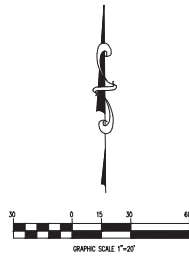
Job No.: Sheet: 1265 SP-3



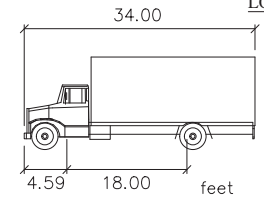


feet  
 Width : 8.50  
 Track : 7.50  
 Lock to Lock Time : 6.0  
 Steering Angle : 40.0

**DUMPSTER TRUCK**  
 NOT TO SCALE

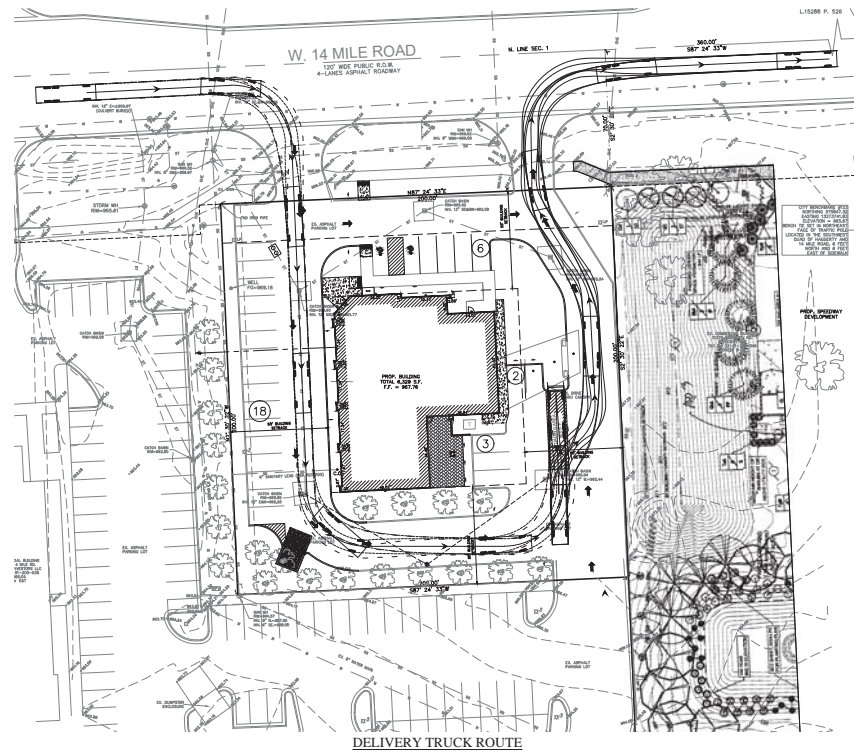


**LOCATION MAP**  
 N.T.S.



Width : 8.20  
 Track : 7.84  
 Lock to Lock Time : 6.0 feet  
 Steering Angle : 41.8

**DELIVERY TRUCK**  
 NOT TO SCALE



**Orman Engineering, LLC**  
 5476 Vivian Lane  
 Waterford, MI 48327  
 phone: 248.682.6001  
 email: alex@ormanengineering.com

PROJECT  
**BUILDING ADDITION**

CLIENT  
 Behavioral Care Solutions  
 39465 W. 14 Mile Rd.  
 Novi, MI 48377

Robert A. Clemente  
 Phone: (248) 859-3900  
 Fax: (888) 483-0118

SEAL

SHEET  
**TRUCK ROUTE PLAN**

PROJECT LOCATION  
 Section 1  
 39465 W. 14 Mile Rd.  
 Novi, MI 48377



REVISIONS

No.	Date	Description

01-19-2020 SUB. FOR SITE PLAN REV.  
 01-23-2020 SUB. FOR PRE-APP. REV.

Date Description  
 Designed by: Drawn by:  
 A.O. S.D.M.

Approved by: Date:  
 A.O. 01-15-2020

Scale:  
 1" = 30'

Job No.: Sheet:

1265

SP-5



LEGAL DESCRIPTION: WARRANTY DEED LIBER 53148, PAGE 565  
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 1,  
 TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND  
 COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT  
 DISTANCE SOUTH 87 DEGREES 24 MINUTES 33 SECONDS WEST  
 360.00 FEET AND SOUTH 02 DEGREES 30 MINUTES 22 SECONDS  
 EAST 70.00 FEET FROM THE NORTHEAST SECTION CORNER;  
 THENCE SOUTH 02 DEGREES 30 MINUTES 22 SECONDS EAST  
 200.00 FEET; THENCE SOUTH 87 DEGREES 24 MINUTES 33  
 SECONDS WEST 200.00 FEET; THENCE NORTH 02 DEGREES 30  
 MINUTES 22 SECONDS WEST 200.00 FEET; THENCE NORTH 87  
 DEGREES 24 MINUTES 33 SECONDS EAST 200.00 FEET TO  
 BEGINNING.

NOTES:  
 BASIS OF BEARING: THE NORTH SECTION LINE OF SECTION 1  
 IN THE WARRANTY DEED, AS RECORDED IN LIBER 53148,  
 PAGE 565, WAS SET TO S87°24'33"W  
 (M) FIELD MEASURED BEARINGS AND DISTANCES  
 (R) RECORDED BEARINGS AND DISTANCES PER  
 WARRANTY DEED LIBER 53148, PAGE 565

ZONING:  
 OST DISTRICT  
 MAX. BUILDING HEIGHT = 46 FT. 3-INCHES  
 FRONT BUILDING SETBACK = 30 FT.  
 MIN. OPEN SPACE 15%

Tag No.	Scientific Name	Common Name	DBH(s)	Condition
421	Acer saccharinum	Sugar Maple	18"	Good
422	Acer saccharinum	Sugar Maple	18"	Good
423	Acer saccharinum	Sugar Maple	18"	Good
424	Acer saccharinum	Sugar Maple	18"	Good
425	Acer saccharinum	Sugar Maple	18"	Good
426	Acer saccharinum	Sugar Maple	18"	Good
427	Acer saccharinum	Sugar Maple	18"	Good
428	Pinus nigra	Austrian Pine	12"	Good
429	Pinus nigra	Austrian Pine	12"	Good
430	Pinus nigra	Austrian Pine	12"	Good
431	Acer saccharinum	Sugar Maple	18"	Good
432	Acer saccharinum	Sugar Maple	18"	Good
433	Acer rubrum	Red Maple	18"	Good
434	Acer rubrum	Red Maple	18"	Good

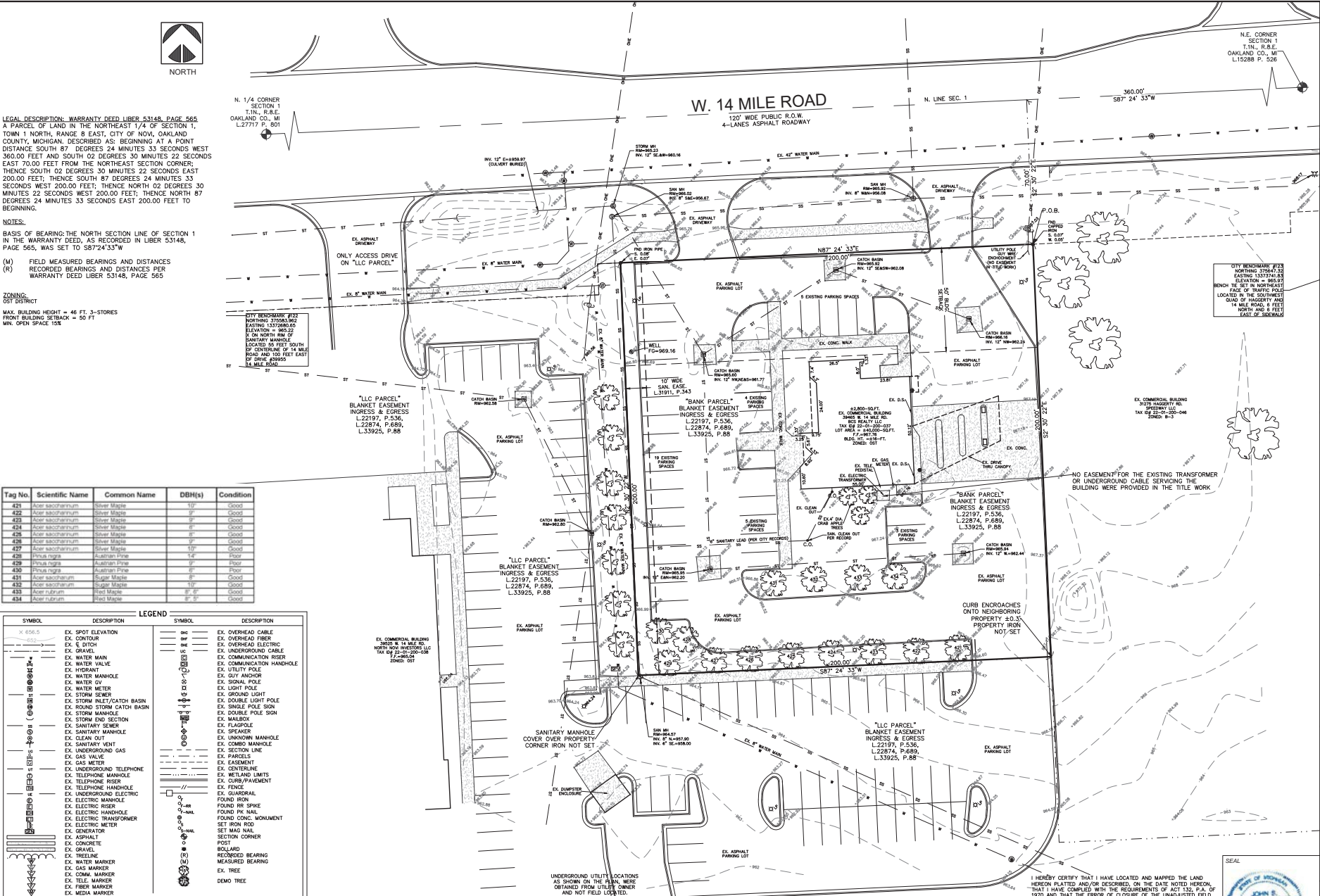
SYMBOL		DESCRIPTION	SYMBOL		DESCRIPTION
⊗ 656.5	EX. SPOT ELEVATION	EX. OVERHEAD CABLE	—	EX. OVERHEAD CABLE	
—	EX. CONTOUR	EX. OVERHEAD FIBER	—	EX. OVERHEAD FIBER	
—	EX. 6" DITCH	EX. OVERHEAD ELECTRIC	—	EX. OVERHEAD ELECTRIC	
—	EX. GRAVEL	EX. UNDERGROUND CABLE	—	EX. UNDERGROUND CABLE	
—	EX. WATER MAIN	EX. COMMUNICATION RISER	—	EX. COMMUNICATION RISER	
—	EX. WATER VALVE	EX. COMMUNICATION HANDHOLE	—	EX. COMMUNICATION HANDHOLE	
—	EX. HYDRANT	EX. UTILITY POLE	—	EX. UTILITY POLE	
—	EX. WATER MANHOLE	EX. GUY ANCHOR	—	EX. GUY ANCHOR	
—	EX. WATER METER	EX. SIGNAL POLE	—	EX. SIGNAL POLE	
—	EX. STORM SEWER	EX. LIGHT POLE	—	EX. LIGHT POLE	
—	EX. ROUND STORM CATCH BASIN	EX. GROUND LIGHT	—	EX. GROUND LIGHT	
—	EX. STORM END SECTION	EX. DOUBLE LIGHT POLE	—	EX. DOUBLE LIGHT POLE	
—	EX. SANITARY SEWER	EX. SINGLE POLE SIGN	—	EX. SINGLE POLE SIGN	
—	EX. SANITARY MANHOLE	EX. DOUBLE POLE SIGN	—	EX. DOUBLE POLE SIGN	
—	EX. CLEAN OUT	EX. MAILBOX	—	EX. MAILBOX	
—	EX. SANITARY VENT	EX. FLAGPOLE	—	EX. FLAGPOLE	
—	EX. UNDERGROUND GAS	EX. SPEAKER	—	EX. SPEAKER	
—	EX. GAS VALVE	EX. UNKNOWN MANHOLE	—	EX. UNKNOWN MANHOLE	
—	EX. GAS METER	EX. COMBO MANHOLE	—	EX. COMBO MANHOLE	
—	EX. UNDERGROUND TELEPHONE	EX. SECTION LINE	—	EX. SECTION LINE	
—	EX. TELEPHONE MANHOLE	EX. EASEMENT	—	EX. EASEMENT	
—	EX. TELEPHONE RISER	EX. CENTERLINE	—	EX. CENTERLINE	
—	EX. TELEPHONE HANDHOLE	EX. METAL LIMITS	—	EX. METAL LIMITS	
—	EX. UNDERGROUND ELECTRIC	EX. CURB/PAVEMENT	—	EX. CURB/PAVEMENT	
—	EX. ELECTRIC RISER	EX. FENCE	—	EX. FENCE	
—	EX. ELECTRIC HANDHOLE	EX. QUARANTAL FOUND IRON	—	EX. QUARANTAL FOUND IRON	
—	EX. ELECTRIC TRANSFORMER	EX. FOUND RR SPIKE	—	EX. FOUND RR SPIKE	
—	EX. GENERATOR	EX. FOUND CONC. MONUMENT	—	EX. FOUND CONC. MONUMENT	
—	EX. CONCRETE	EX. SET IRON ROD	—	EX. SET IRON ROD	
—	EX. GRAVEL	EX. SET MAG NAIL	—	EX. SET MAG NAIL	
—	EX. TRELLINE	EX. SECTION CORNER	—	EX. SECTION CORNER	
—	EX. WATER MARKER	EX. POST	—	EX. POST	
—	EX. COMM. MARKER	EX. BOLLARD	—	EX. BOLLARD	
—	EX. TILE MARKER	EX. RECORDED BEARING	—	EX. RECORDED BEARING	
—	EX. FIBER MARKER	EX. MEASURED BEARING	—	EX. MEASURED BEARING	
—	EX. MEDIA MARKER	EX. TREE	—	EX. TREE	
—		EX. DEMO TREE	—	EX. DEMO TREE	

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.  
 NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY  
 RESPONSIBILITY FOR THE SAFETY OF PERSONS ENGAGED IN THE WORK,  
 OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE  
 WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS  
 ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL  
 EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE  
 FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S  
 FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



THE CONTRACTOR SHALL BE RESPONSIBLE  
 FOR THE PROTECTION OF AND/OR  
 RELOCATION OF ALL UTILITIES THAT MAY  
 INTERFERE WITH CONSTRUCTION.



Civil Engineering  
 Land Surveying  
**DIFFIN**  
 Engineering & Surveying  
 24353 Tara Drive  
 South Lyon, MI 48179  
 P: 248.943.8264  
 F: 248.378.2564  
 www.Diffin-Eng.com

REVISIONS

No.	Description

CLIENT:  
 ORHAM ENGINEERING  
 5635 BIVAN JANE  
 WATERFORD, MICHIGAN 48327

TOPOGRAPHIC BOUNDARY SURVEY  
 39465 W. 14 MILE ROAD

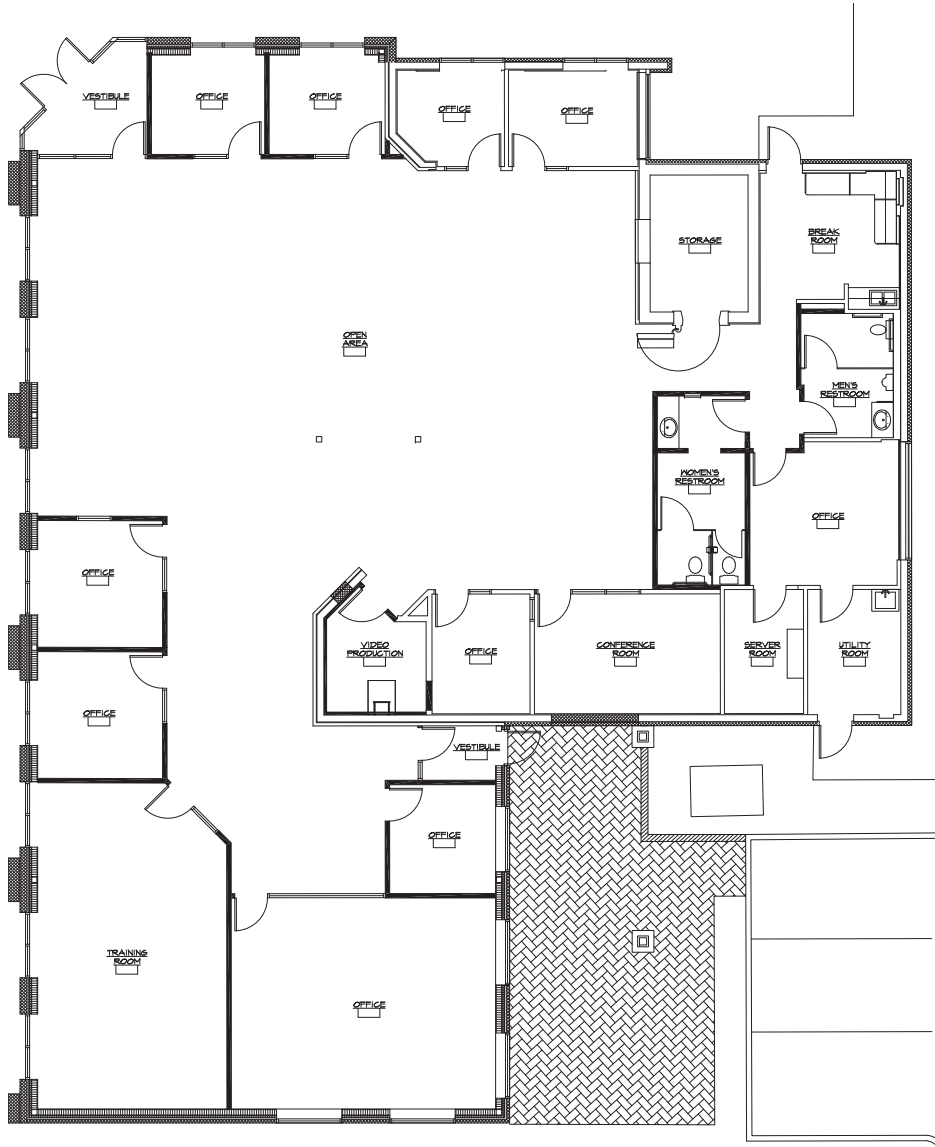
These documents are instruments of service in  
 respect of the project and shall remain the property  
 of the client. The client shall be responsible for  
 obtaining all necessary permits and approvals  
 required for the project. The client shall be  
 responsible for obtaining all necessary permits  
 and approvals required for the project. The  
 client shall be responsible for obtaining all  
 necessary permits and approvals required for  
 the project. The client shall be responsible  
 for obtaining all necessary permits and  
 approvals required for the project.

SECTION XX  
 TOWN 14 SOUTH, RANGE 8 EAST  
 CITY OF NOVI  
 OAKLAND COUNTY, MICHIGAN

DATE: 1-13-20  
 Drawn By: JX  
 P: JLD  
 Scale: 1" = 20'  
 Sheet No.: 122129  
 1

JOHN B. BLANCHARD  
 PROFESSIONAL SURVEYOR  
 NO. 27446

2025 RELEASE UNDER E.O. 14176



**FLOOR PLAN**  
3/16" = 1'-0"



7300 DIXIE HWY. #600  
 CLARKSTON, MI 48048  
 PHONE 248.605.2030  
 FAX 248.605.2030  
 WEB DSARCHITECTS.COM



Project: **BEHAVIORAL CARE SOLUTIONS**  
 8000 N. LAUREL RD.  
 NORTON, MI 48577

Drawing Title  
**FLOOR PLAN**

Project Number  
**17-40-146**

Drawn  
 KJM

Checked  
 DJS

Scale  
 3/16" = 1'-0"

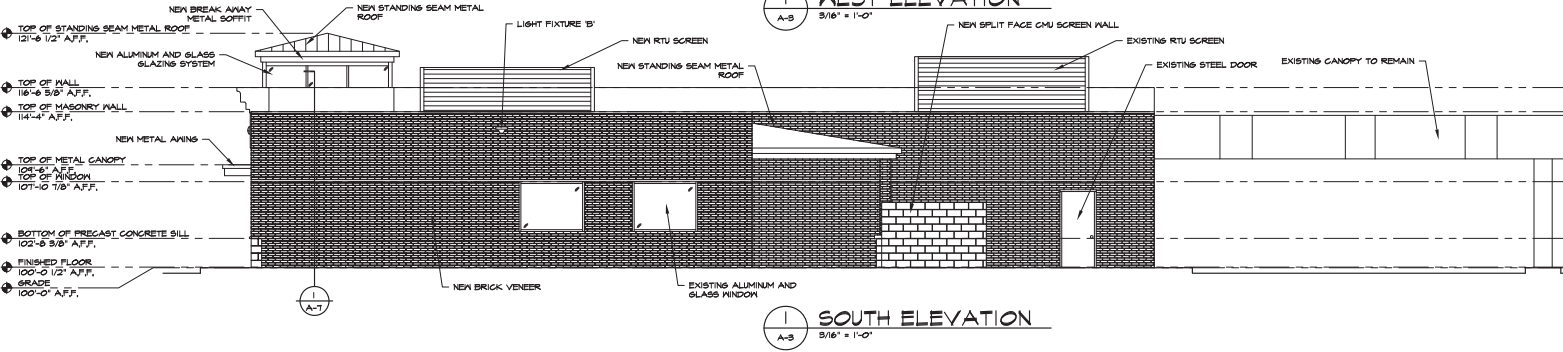
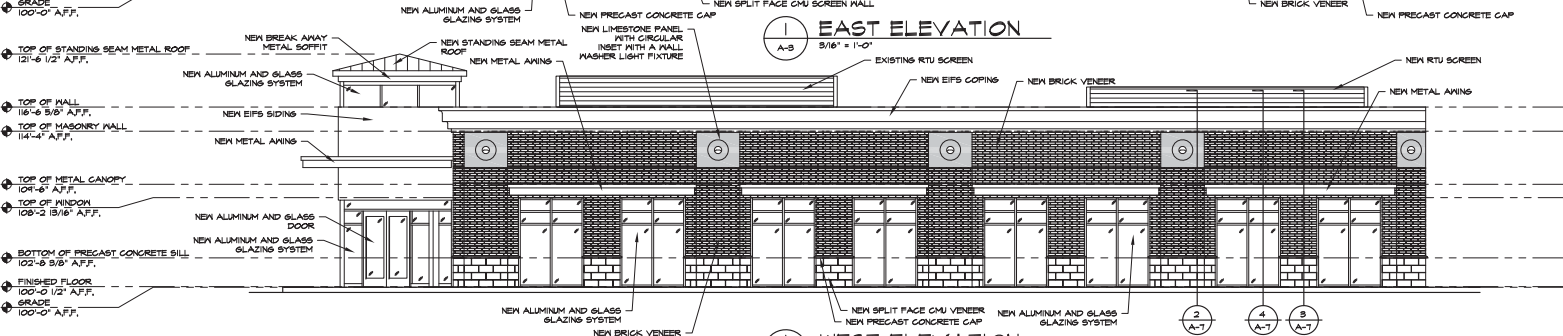
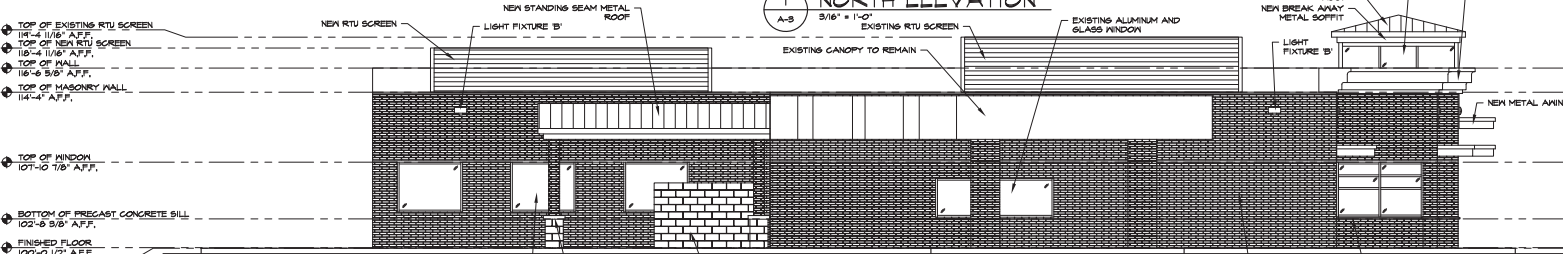
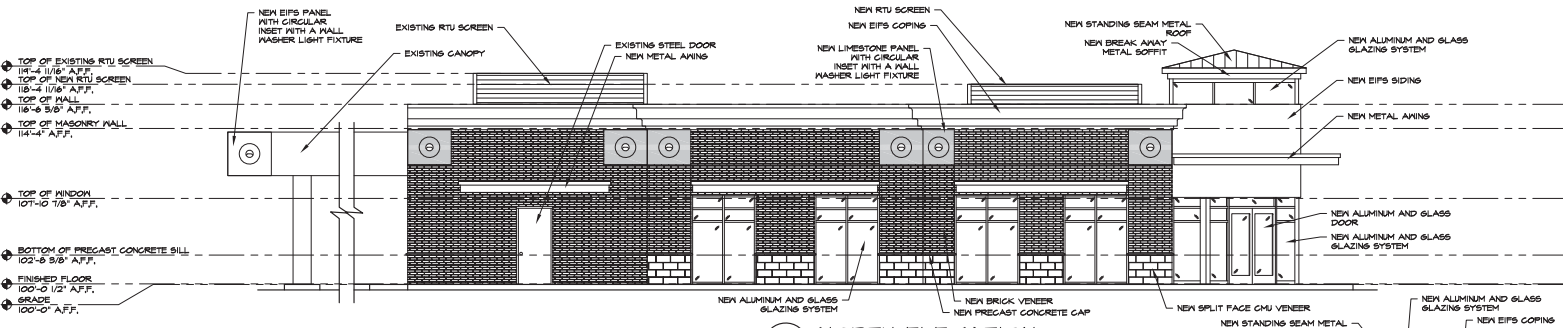
Date  
 BEHAVIORAL CARE SOL CDS

Revised by Date by  
 SITE PLAN REVIEW 3-18-20 DJS

Sheet Number  
**A-3**  
 of  
 9



MATERIALS PERCENTAGE		
NORTH		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	561 SQ.FT.	97%
SPLIT FACE CMU	69 SQ.FT.	6%
EIPS	218 SQ.FT.	21%
RTU SCREEN	74 SQ.FT.	7%
LIMESTONE	12 SQ.FT.	7%
STANDING SEAM	11 SQ.FT.	1%
EAST		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	449 SQ.FT.	69%
SPLIT FACE CMU	69 SQ.FT.	4%
EIPS	185 SQ.FT.	19%
RTU SCREEN	296 SQ.FT.	16%
LIMESTONE	0 SQ.FT.	0%
STANDING SEAM	1 SQ.FT.	1%
WEST		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	621 SQ.FT.	91%
SPLIT FACE CMU	111 SQ.FT.	4%
EIPS	284 SQ.FT.	24%
RTU SCREEN	121 SQ.FT.	10%
LIMESTONE	58 SQ.FT.	5%
STANDING SEAM	1 SQ.FT.	1%
SOUTH		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	481 SQ.FT.	82%
SPLIT FACE CMU	62 SQ.FT.	9%
EIPS	5 SQ.FT.	1%
RTU SCREEN	146 SQ.FT.	12%
LIMESTONE	0 SQ.FT.	0%
STANDING SEAM	11 SQ.FT.	1%
TOTAL		
MATERIALS	SQ.FT. OF MATERIALS	PERCENTAGE OF MATERIALS
BRICK	9149 SQ.FT.	67%
SPLIT FACE CMU	301 SQ.FT.	6%
EIPS	707 SQ.FT.	15%
RTU SCREEN	971 SQ.FT.	8%
LIMESTONE	150 SQ.FT.	3%
STANDING SEAM	40 SQ.FT.	1%



**BEHAVIORAL CARE SOLUTIONS**  
 Project: BEHAVIORAL CARE SOLUTIONS  
 9500 N. S. A. RD.  
 NORTON, MI 48677

Drawing Title: **ELEVATIONS**

Project Number: **17-40-146**

Drawn: KJM  
 Checked: DJS

Scale: 3/16" = 1'-0"

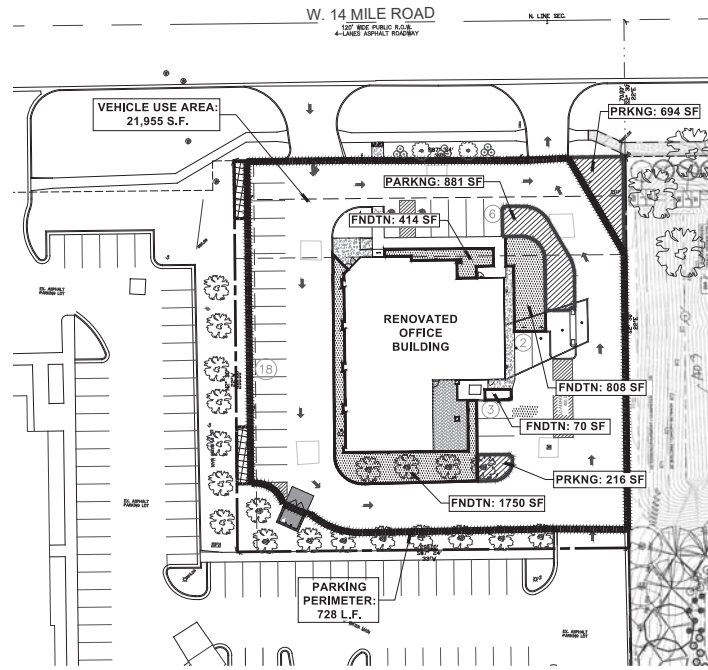
Disc: BEHAVIORAL CARE SOL.CDS

Issue Date: 3-18-20  
 By: DJS

Sheet Number: **A-8**  
 of 9

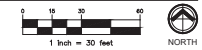






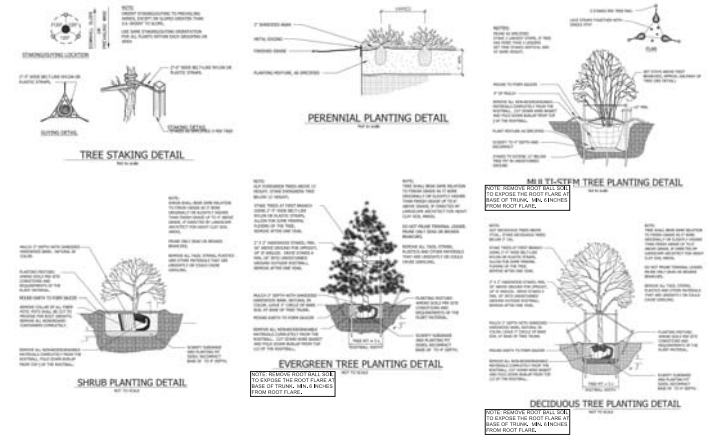
**ORDINANCE REQUIREMENT MAP**

SCALE: 1" = 30'



- Landscape Waivers Requested:**
1. Contiguous Space Limit (Zoning Sec 5.5.3C.ii) Max 15 spaces - Proposed 18 due to existing parking lot condition.
  2. Perimeter Parking Canopy Trees (Zoning Sec 5.5.3C.ii) Required 21 trees - Proposed 8 trees due to existing conditions.
  3. Adjacent to R.O.W. (Sec 5.5.B) Required Berm - No berm due to existing condition and landscaping - no change.
  4. Greenbelt Screening (Sec 5.5.3.B.ii) 20 ft. Width Required - None proposed due to existing lot conditions - no change.
  5. Greenbelt Screening (Sec 5.5.3.B.ii) Berm Crest & Width - None proposed due to existing lot conditions - no change.
  6. Greenbelt Screening (Sec 5.5.3.B.ii) Canopy Trees - 4 Trees Required. 2 existing trees to remain due to existing lot conditions - no change.
  7. Greenbelt Screening (Sec 5.5.3.B.ii) Sub-canopy Trees - 7 Trees Required - None proposed due to existing lot conditions - no change.

**NOVI PLANTING DETAILS**



**LANDSCAPE DATA**

<b>R.O.W. Greenbelt</b> 14 Mile Road Frontage: (200 In. ft. - 21 In. ft. - 32 In. ft. = 147 In. ft.) Canopy/Evergreen Trees Req.: 5 Trees (1 Tree/35 in. ft.) Canopy/Evergreen Trees Prov.: *None Sub-Canopy Trees Req.: 8 Trees (1 Tree/20 in. ft.) Sub-Canopy Trees Prov.: *None *Note: Existing parking lot directly adjacent to R.O.W. - no space for required plantings. All existing plants to remain.	<b>147 in. ft.</b>	<b>PARKING LOT</b> <b>INTERIOR PARKING LOT LANDSCAPING</b> Total Parking Area: 21,955 s.f. Required Landscape Area: V.U.A. x 0.075 s.f. (up to 50,000 s.f.): 1,647 s.f. (21,979 s.f. x 0.075) <b>Total s.f. of Landscape Area Prov.: 1,791 s.f.</b>
<b>Street Trees</b> Twelve Mile Road Frontage: (200 L.F. less 51 L.F. + 48 L.F.) (1 Tree/35 in. ft.) Trees Required: 3 Trees <b>Total Trees Provided: 3 Trees</b>	<b>191 in. ft.</b>	<b>Parking Lot Tree Requirement:</b> Total Trees Required (1 per 200 s.f.): 9 Trees <b>Existing Trees: 4 Trees</b> <b>Total Trees Provided: 5 Trees</b>
<b>BUILDING</b> <b>FOUNDATION PERIMETER LANDSCAPING</b> Building Perimeter: 373 L.F. Landscape Area Req.: 2,984 s.f. (Building Perimeter x 8.0) <b>Foundation Landscape Area Prov.: 3,042 s.f.</b>		<b>PARKING PERIMETER LANDSCAPING</b> Parking Lot Perimeter: 728 L.F. Canopy/Evergreen Trees Req.: 21 Trees (1 Tree/35 in. ft.) <b>Trees Provided: 8 Trees*</b> <b>Existing Trees: 8 Trees*</b> *Note: Both perimeter is existing R.O.W. - west perimeter is utility easement, and east perimeter is property line.



NOT TO BE USED AS CONSTRUCTION DRAWING

**REVISIONS**


01-19-2020 SUBMIT FOR SITE PLAN REVIEW  
01-10-2020 REVISED PER COMMENTS  
01-23-2020 SITE PLAN APPROVAL

Date	Description

Designed by: S.D. Drawn by: S.D.  
Approved by: S.D. Date: 01-10-2020

Scale:  

Job No.:  Sheet:





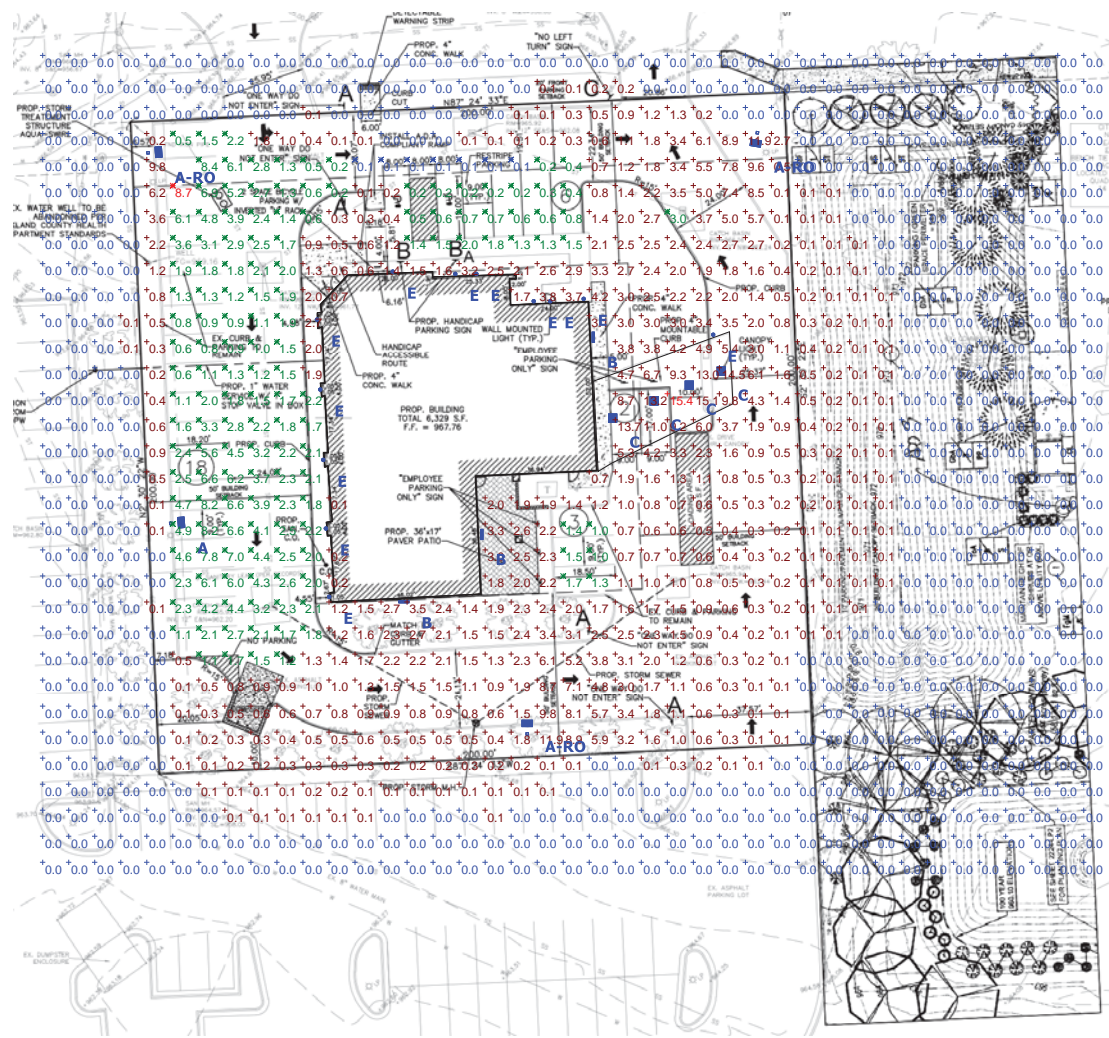
**EXAMPLE: SCHEDULE FOR A-R-O LIGHT FIXTURES**

Area	Symbol	Qty	Wattage	Hours	Watt-Hours
East Facades	A	1	10	6	60
North Facades	A	1	10	6	60
Parking	X	1	10	6	60
Site	+	1	10	6	60
South Facade	+	1	10	6	60
West Facades	A	1	10	6	60



**EXAMPLE: SCHEDULE FOR A-R-O LIGHT FIXTURES**

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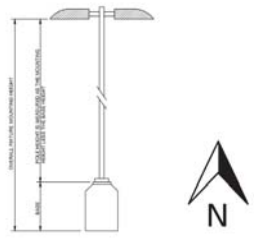


- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
  - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE
  - HOURS OF OPERATION ARE 6PM TO 7:30AM
  - ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND
  - FLASHING LIGHT SHALL NOT BE PERMITTED
  - ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

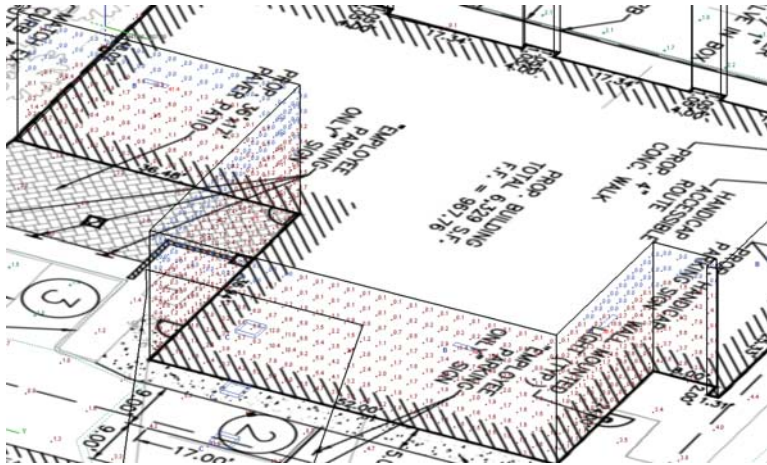


**Statistics**

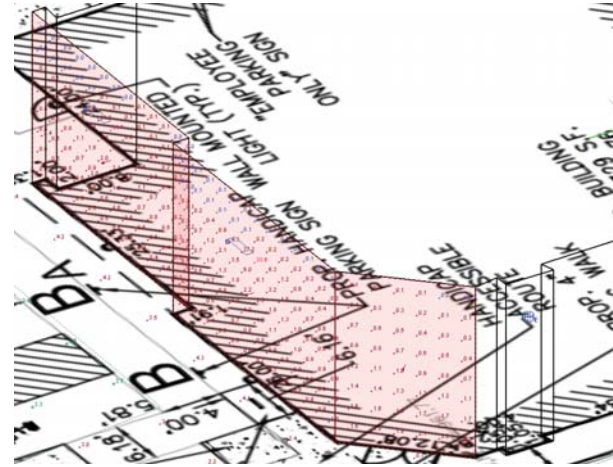
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
EAST FACADES		1.4 fc	52.7 fc	0.0 fc	N/A	N/A	0.0:1
NORTH FACADES		0.3 fc	2.3 fc	0.0 fc	N/A	N/A	0.1:1
PARKING	X	2.3 fc	8.7 fc	0.1 fc	87.0:1	23.0:1	0.3:1
SITE	+	0.9 fc	15.4 fc	0.0 fc	N/A	N/A	0.1:1
SOUTH FACADE	+	0.8 fc	50.7 fc	0.0 fc	N/A	N/A	0.0:1
WEST FACADES		0.1 fc	1.5 fc	0.0 fc	N/A	N/A	0.1:1

**Schedule**

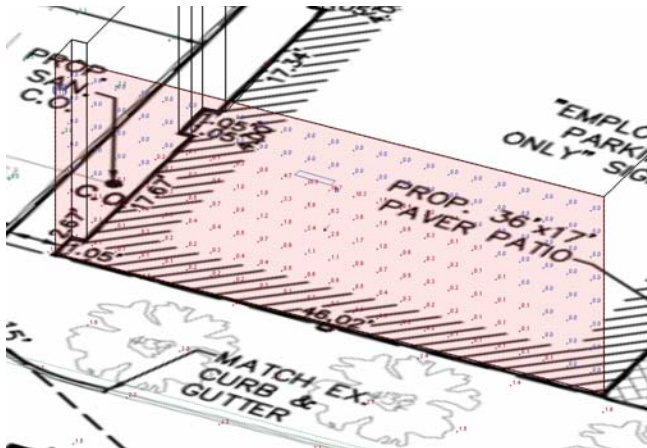
Symbol	Label	QTY	Catalog Number	Description	Lumen's per Lamp	LLF	Wattage	Lamp	MOUNTING HEIGHT
A	A	1	DSXO LED P7 40K BLC MWOLT	DSXO LED P7 40K BLC MWOLT	15000	0.9	166	LED	18"
A-R-O	A-R-O	3	DSXO LED P7 40K LCCO MWOLT	DSXO LED P7 40K LCCO MWOLT	11199	0.9	166	LED	18"
B	B	3	DSXW1 LED 20C 700 40K TFM MWOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES TFM TFM OPTIC 4000K @ 700ma	5554	0.9	45.7	LED	12"
C	C	4	CNY LED P1 40K MWOLT	Contractor Select CNY LED Canopy P1-4.500m	4476	0.9	35.36	LED	11"
E	E	12	22379 K3	22 379 K3	543	0.9	10	LED	7.7W 13"



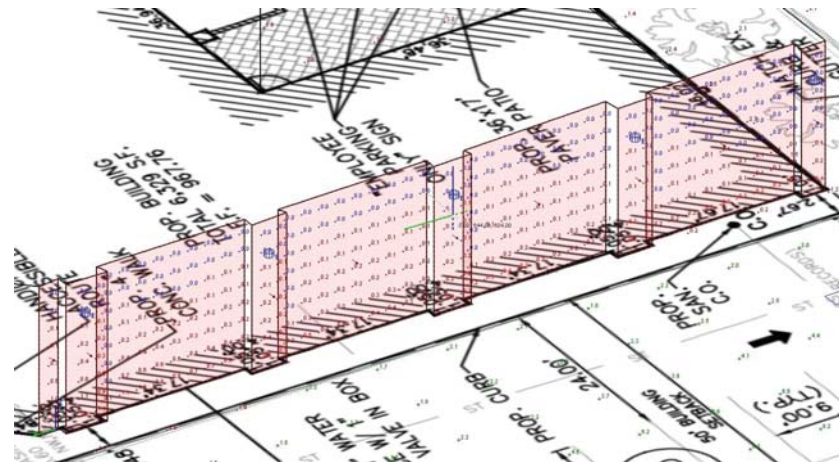
EAST FACADE



NORTH FACADE



SOUTH FACADE



WEST FACADE