



## Planet Fitness JSP 18-57

### Planet Fitness JSP 18-57

Consideration at the request of PF Michigan Group, LLC for JSP 18-57 Planet Fitness for Planning Commission’s approval of Preliminary Site Plan and Storm Water Management plan. The applicant is proposing a single floor 21,054 square foot indoor recreational facility; popularly known as Planet Fitness. The facility is estimating to serve up top 1000 memberships.

*The subject property is part of a Planned Rezoning Overlay request (PRO) for Adell Center Development, which was approved by City Council at their October 22, 2018 meeting and it is subject to conditions of the PRO agreement.*

### Required Action

Approval or denial for Preliminary Site Plan and Storm Water Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	01-16-19	<ul style="list-style-type: none"> <li>• <b>Consistent with approved PRO concept plan</b></li> <li>• Deviation for reduction of loading zone area as allowed in the approved PRO agreement</li> <li>• Additional items to be addressed with Final Site Plan</li> </ul>
Engineering	Approval recommended	01-16-19	<ul style="list-style-type: none"> <li>• Additional items to be addressed with Final Site Plan</li> </ul>
Landscaping	Approval recommended	12-21-18	<ul style="list-style-type: none"> <li>• <b>Landscape shrubs in lieu of perimeter parking lot trees along western property boundary to be determined by the landscape architect at the time of Final Site Plan</b></li> <li>• Additional items to be addressed with Final Site Plan</li> </ul>
Traffic	Approval recommended	01-14-19	<ul style="list-style-type: none"> <li>• Additional items to be addressed with Final Site Plan</li> </ul>
Façade	Approval recommended	01-12-19	<ul style="list-style-type: none"> <li>• Conforms to the Façade Ordinance</li> </ul>
Fire	Approval recommended	12-21-18	<ul style="list-style-type: none"> <li>• <b>Turning radii shall comply with fire truck turning radii at the time of final site plan, as shown in the Circulation Diagram provided with the response letter</b></li> <li>• Additional items to be addressed with Final Site Plan</li> </ul>

## Motion sheet

### Approval – Preliminary Site Plan

In the matter of request of PF Michigan Group, LLC, for the Planet Fitness JSP18-57, motion to approve the Preliminary Site Plan based on and subject to the following:

1. Following deviations as underlined, are subject to Planning Commission's approval at the time of Preliminary Site Plan approval, as noted in the PRO agreement:
  - a. Landscape waiver from Section 5.5.3.C.(3) Chart footnote) for allowing landscape shrubs in lieu of required perimeter parking lot trees along western property line, due to conflicts with proposed underground storm water detention system. Alternate landscaping shall be subject to Landscape Architect review and approval at the time of final site plan approval;
  - b. *The applicant shall provide supporting data to justify the proposed loading area square footages, to be reviewed and approved by Planning Commission at the time of Preliminary site plan approval; Planning Commission's approval to allow for reduction of minimum required loading area is hereby granted; (1,410 sf required, 1,400 sf provided);*
2. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan;
3. Following Landscape deviations are subject to Planning Commission's approval at the time of Preliminary Site Plan approval, as noted in the approved PRO agreement:
  - a. Planning deviation from section 5.12 to allow lack of required frontage on public road for Units 1 through 8. Frontage is proposed via a proposed private drive, built to City standards;
  - b. Planning deviation from section 3.1.25.D to allow reduction of minimum required front parking setback of 20 ft., from the proposed access easement. A maximum of 18 feet is requested;
  - c. Planning deviation from section 3.1.25.D to allow reduction of minimum required interior side parking setback of 20 ft. for the following units as shared access is proposed between parking lots:
    - i. Unit 2: minimum 15 ft. along South
  - d. Planning deviation to allow placement of loading areas in alternate locations instead of required rear yard or interior side yard for double frontage lots, as listed below, provided proposed locations do not conflict with traffic circulation and appropriate screening will be provided at the time of Preliminary site plan review:
    - a. Unit 2: interior side yard (no double frontage)
  - e. The applicant shall provide supporting data to justify the proposed loading area square footages, to be reviewed and approved by Planning Commission at the time of Preliminary site plan approval;
  - f. Planning deviation from standards of Sec. 5.12 for up to 5% reduction in minimum required parking (to be established by staff after reviewing the calculations provided) for each unit within the development subject to the individual users providing satisfactory justification for Planning Commission's approval of the parking reduction at the time of respective site plan approval; **Reduction of minimum required parking is not requested at this time.**

- g. Façade deviation to allow the following allowable percentages of materials set forth in section 5.15 of Zoning Ordinance, only for the buildings listed below:
  - a. Unit 2 Planet Fitness
    - i. The applicant shall provide revised elevations addressing comments provided in Façade review letter dated August 14, 2018 for Planning Commission's approval of Section 9 waiver at the time of preliminary site plan review;
- h. Planning deviation from the requirement in section 4.02.B Article IV, Appendix C-Subdivision ordinance of City Code of Ordinances that side lot lines be perpendicular or radial to the road, for the lines between Units 6 and 7, Units 4 and 5, and Units 1 and 2, only;
- i. Planning deviation to allow proposing the minimum required Open Space for each Unit as Common element spread within the development boundaries as shown in the Open Space Plan, provided the applicant restores the wetland/woodland on the southerly portion of the site pursuant to a plan meeting City ordinance requirements is submitted and approved at the time of Wetland permit/preliminary site plan approval, and provides the pedestrian walkway through the open space as proposed. (A minimum of 153 of total site area designed as permanently landscaped open areas and pedestrian plazas is required per section 3.27. I.F.);
- j. Planning deviation from Section 5.7 .3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept to the maximum allowable 4: 1;
- k. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4: 1 within the Adell Drive pavement areas as listed in Section 5.7 .3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;
- l. Engineering deviation from Section 11-194(a) 19 of the Design and Construction Standards, to allow a gravel surface for the secondary emergency access road within the boundaries of Unit 2 until the site improvements for Unit 2 are constructed.

4. *(additional conditions here if any).*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Approval – Stormwater Management Plan**

In the matter of request of PF Michigan Group, LLC, for the Planet Fitness JSP18-57, motion to approve the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any).*

(This motion is made *because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.*)

- OR -

**Denial – Preliminary Site Plan**

In the matter of request of PF Michigan Group, LLC, for the Planet Fitness JSP18-57, motion to deny the Preliminary Site Plan ... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

**Denial – Stormwater Management Plan**

In the matter of request of PF Michigan Group, LLC, for the Planet Fitness JSP18-57, motion to deny the Stormwater Management Plan ... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.*



**MAPS**

Location

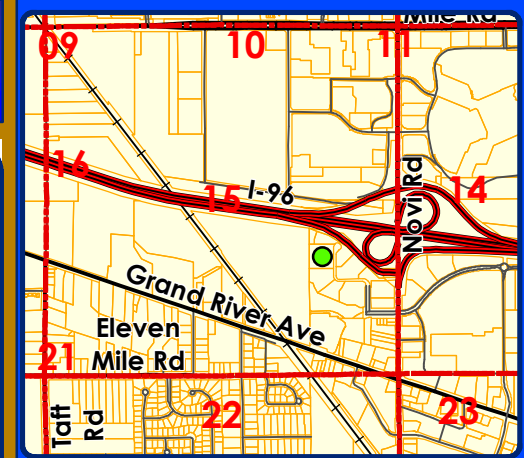
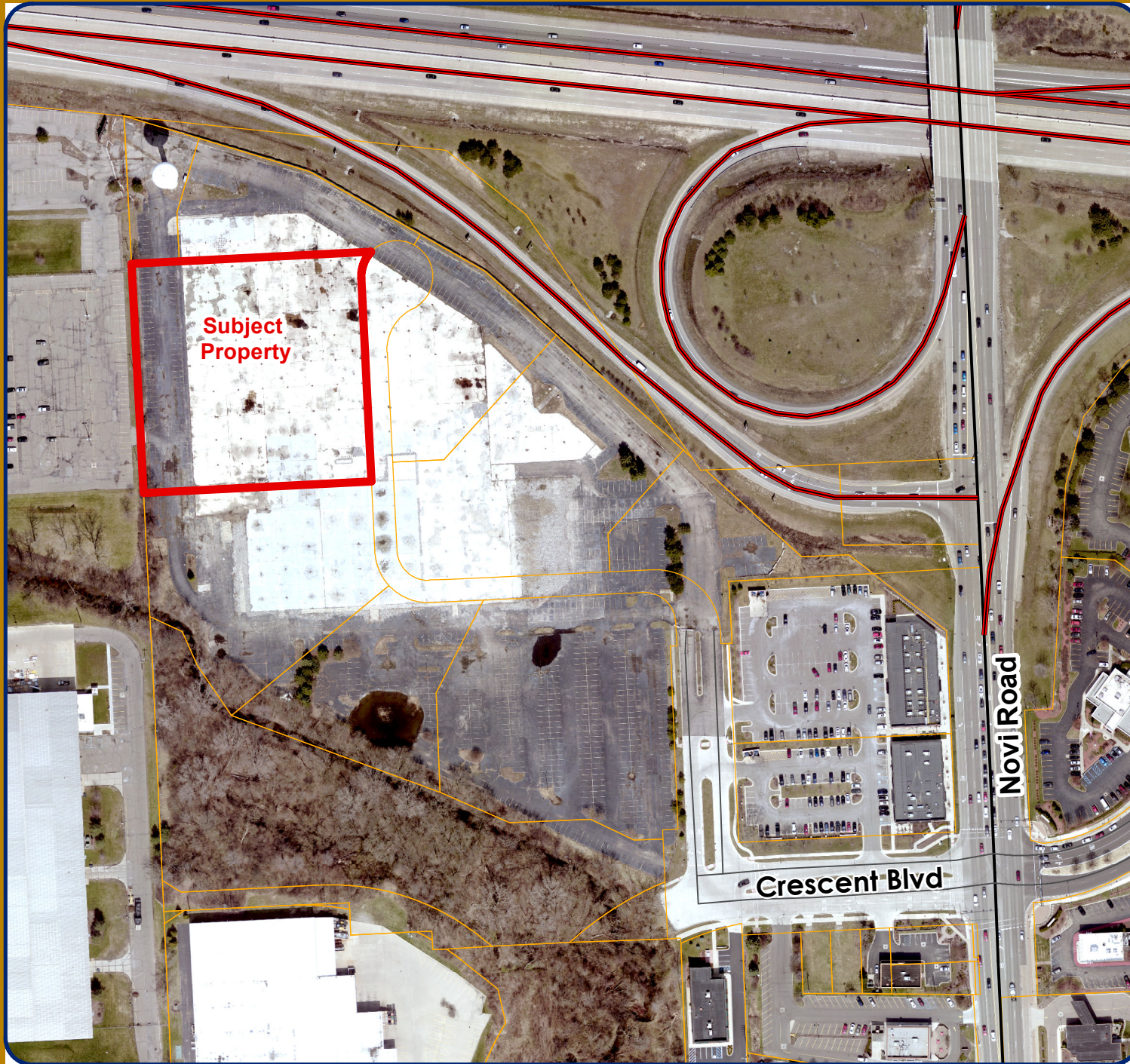
Zoning

Future Landuse

Natural Features

# JSP 18-57: PLANET FITNESS

Location



LEGEND  
Sections



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
Date: 01/18/19  
Project: JSP 18-57 PLANET FITNESS  
Version #: 1



1 inch = 234 feet



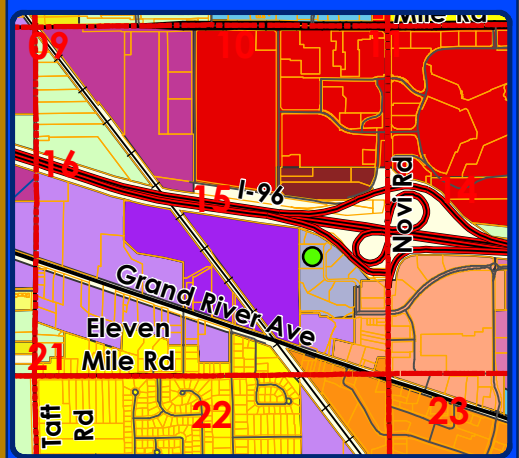
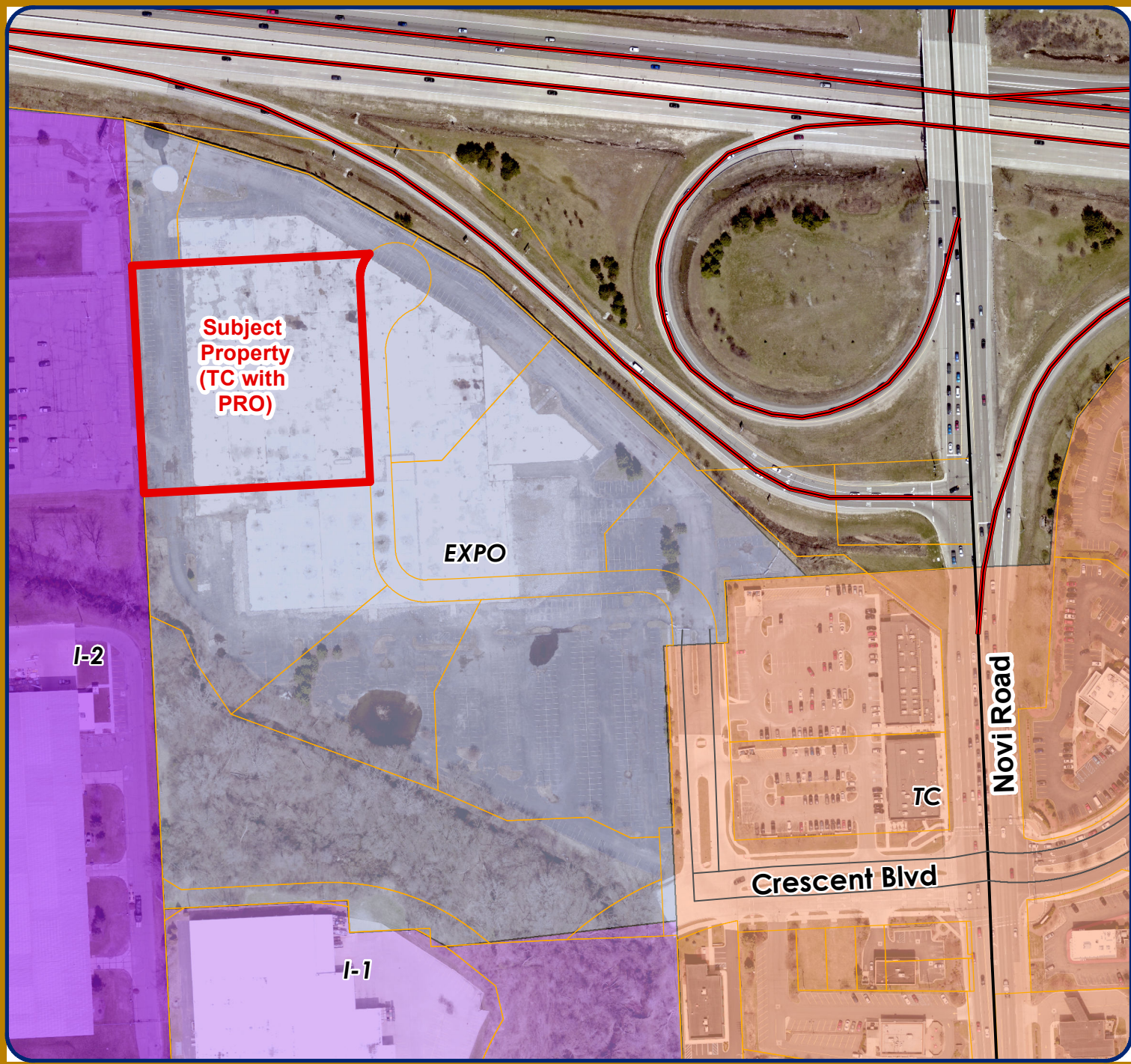
### MAP INTERPRETATION NOTICE

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# JSP 18-57: PLANET FITNESS

## Zoning



**LEGEND**

- Sections
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-4: One-Family Residential District
- B-3: General Business District
- C: Conference District
- EXO: OST District with EXO Overlay
- EXPO: EXPO District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District
- TC: Town Center District
- TC-1: Town Center -1 District



### City of Novi

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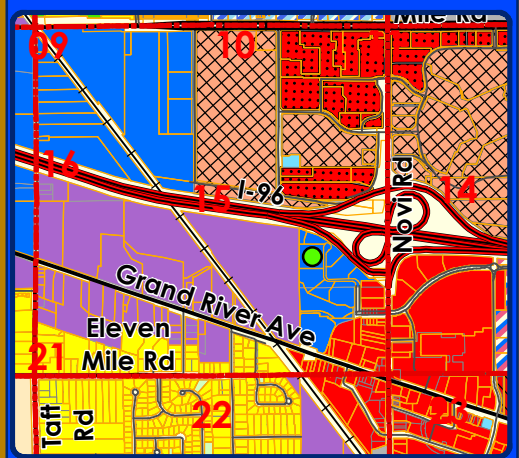
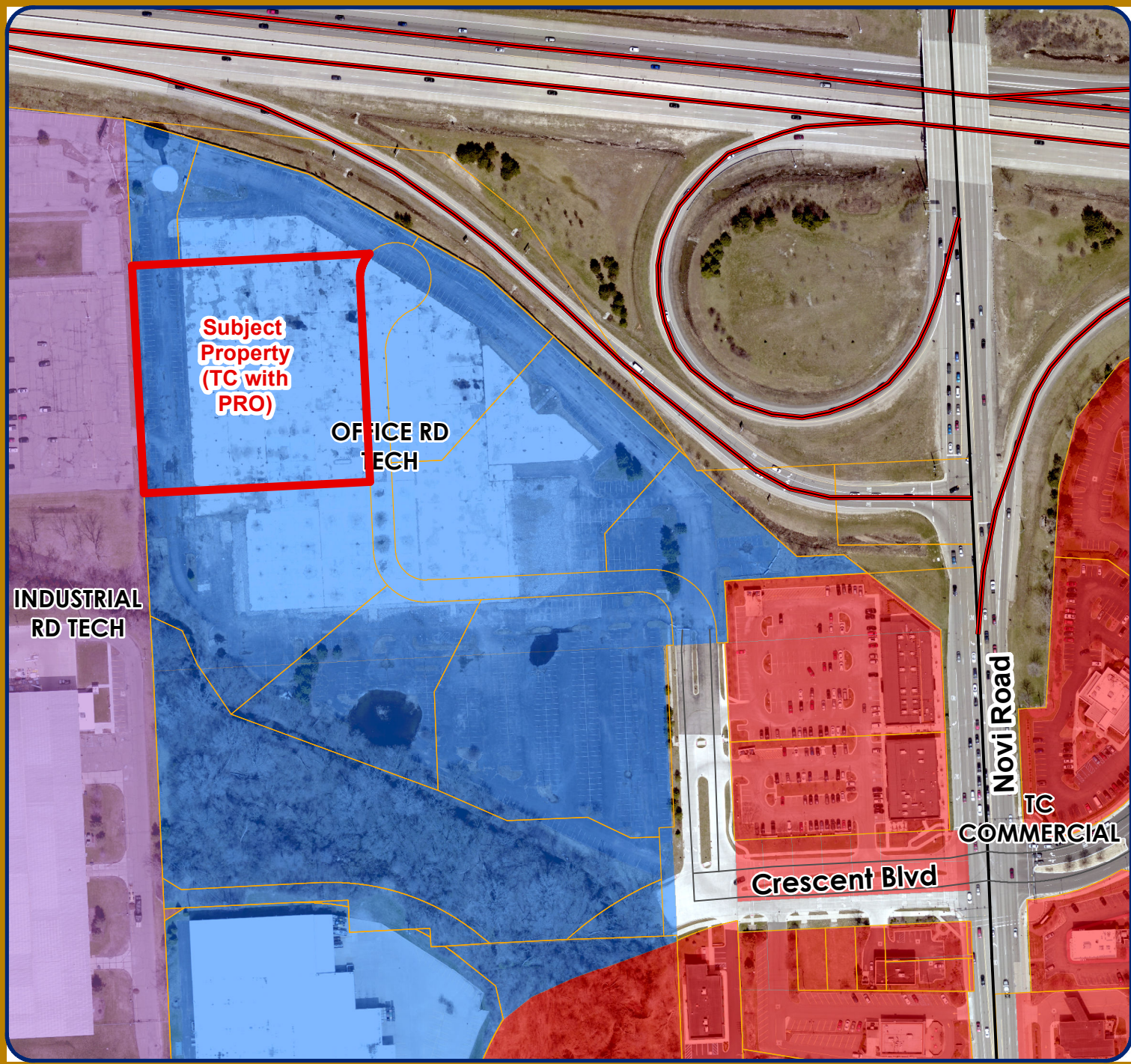
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# JSP 18-57: PLANET FITNESS

Future Land Use



**LEGEND**

- Sections
- FUTURE LAND USE**
- Single Family
- Multiple Family
- Community Office
- Office RD Tech
- Office Commercial
- Industrial RD Tech
- Regional Commercial
- TC Commercial
- TC Gateway
- PD2
- Educational Facility
- Public
- Public Park
- Private Park
- Cemetery



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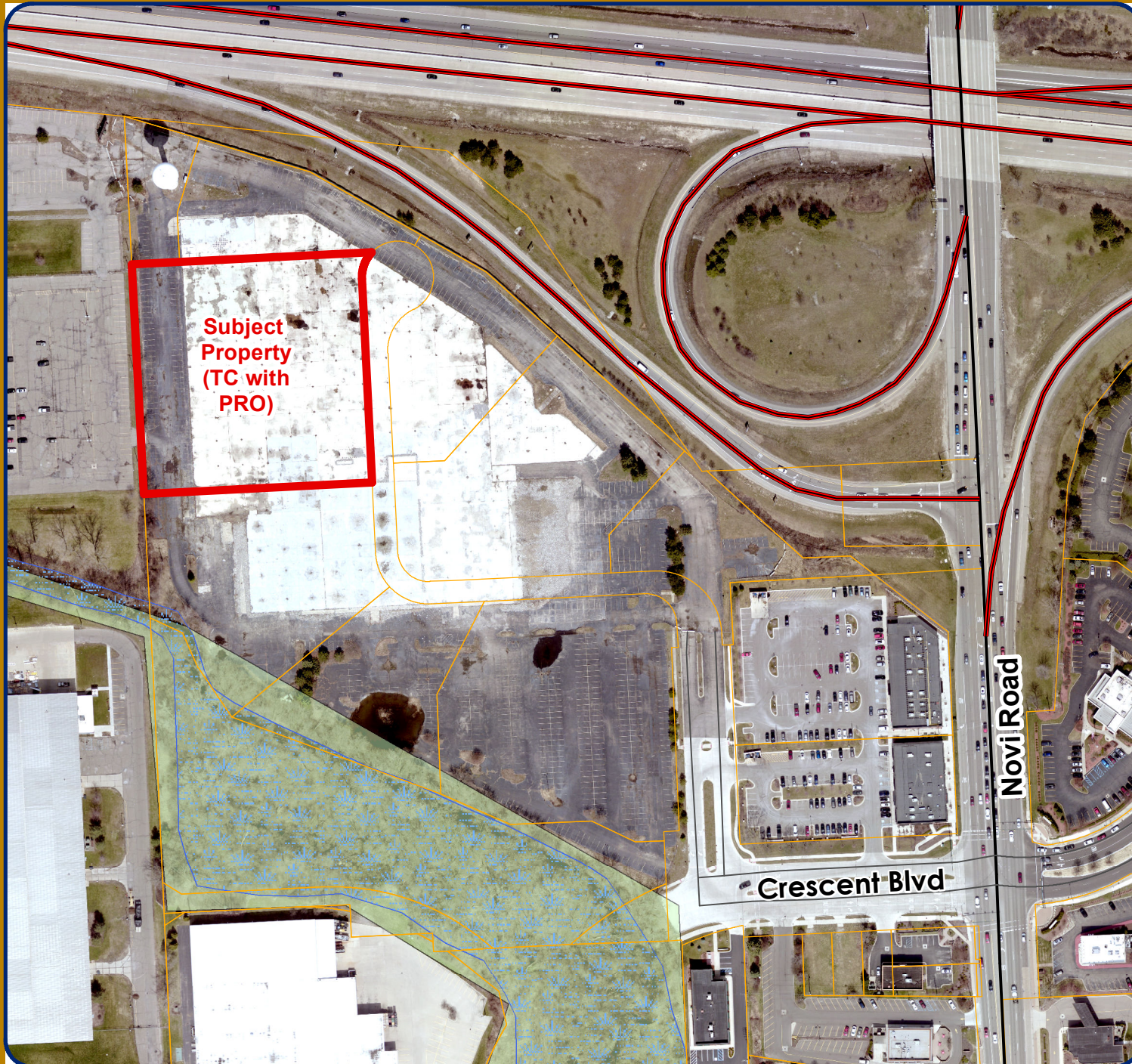
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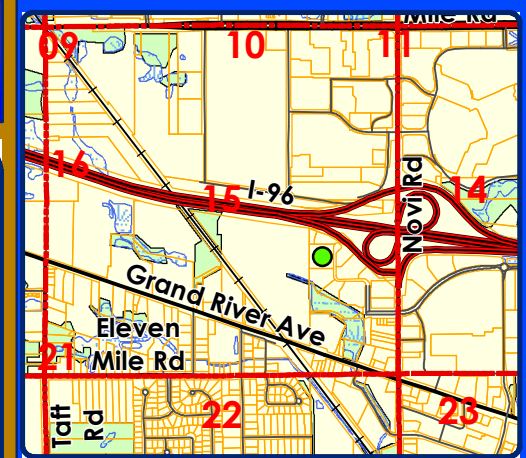


# JSP 18-57: PLANET FITNESS

## Natural Features



**Subject Property  
(TC with PRO)**



### LEGEND

- Sections
- WETLANDS
- WOODLANDS



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**SITE PLAN**

(Full size drawings available for viewing at the Community Development Department)



**BENCHMARKS:**  
 CITY OF NOVI BM 1542  
 3" ON NORTH RM OF SANITARY MANHOLE,  
 25'± WEST OF BACK OF CURB NOV1 ROAD  
 & 45'± SOUTH OF DRIVE #26179 NOV1 ROAD  
 ELEVATION: 915.10 (N.A.V.D.88 DATUM)

BM #1  
 ARROW ON HYDRANT, SOUTH SIDE OF  
 CRESCENT BOULEVARD, 24'± EAST OF  
 SOUTHEAST PROPERTY CORNER  
 ELEVATION: 915.58 (N.A.V.D.88 DATUM)

BM #2  
 ARROW ON HYDRANT, 260'± WEST OF EXPO  
 CENTER DRIVE, 68'± SOUTH OF BUILDING  
 FOUNDATION  
 ELEVATION: 912.13 (N.A.V.D.88 DATUM)

BM #3  
 ARROW ON HYDRANT NORTH SIDE OF SITE,  
 12'± SOUTH OF RIGHT OF WAY FENCE,  
 250'± EAST OF ADELL WATER TOWER.  
 ELEVATION: 914.36 (N.A.V.D.88 DATUM)

**UNIT DEVELOPMENT NOTE:**  
 INDIVIDUAL UNIT DEVELOPMENT PLANS ARE A  
 CONTINUATION OF THE WORK COMPLETED IN  
 THE PREVIOUS SITE DEVELOPMENT PHASES.  
 INDIVIDUAL UNIT SITES SHALL VERIFY EXTENT  
 OF SOIL EROSION AND SEDIMENTATION  
 CONTROL MEASURES, GRADING AND DRAINAGE,  
 AND UTILITIES PRIOR TO THE START OF  
 CONSTRUCTION.

**COORDINATION NOTE:**  
 DEVELOPMENT FOR THE UNIT 2 CURB AND  
 PAVING UNITS IS COORDINATED WITH  
 ADJACENT UNITS 1, UNIT 3, AND ADELL  
 CENTER ROADS & UTILITIES.

**\*CONSTRUCTION MATERIALS:**

PHASE I:	QUANTITY
4" CURB & GUTTER - 3500 PSI CONCRETE	506 LF
6" CURB & GUTTER - 3500 PSI CONCRETE	1,926 LF
CONCRETE WALK - 3500 PSI CONCRETE	3,113 SF
ASPHALT PAVEMENT - 2" DEPTH HMA 5E 1 (SURFACE)	76,458 SF
ASPHALT PAVEMENT - 2.5" DEPTH HMA 3C (LEVELING)	76,458 SF
8" 21AA AGGREGATE BASE	3,806 TONS

\* CONTRACTOR TO EVALUATE AND DETERMINE QUANTITIES, ONLY USE ABOVE TABLE AS REFERENCE

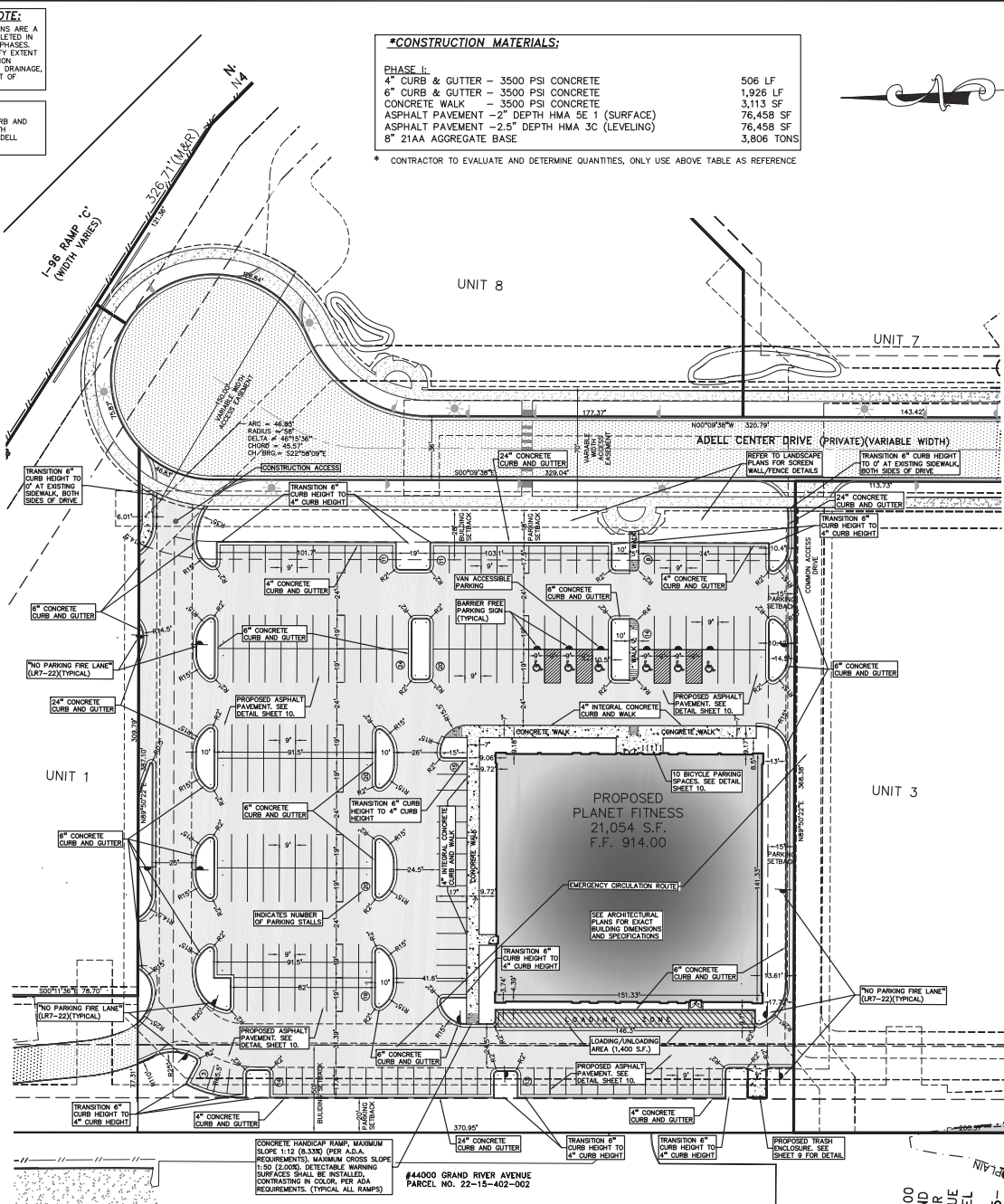
**LEGEND**

FIB	FOUND IRON BAR	—	SANITARY SEWER
FCI	FOUND CAPPED IRON	—	STORM SEWER
EX	EX. UTILITY POLE	—	WATER MAIN
EX	EX. LIQUOROLE	—	GAS MAIN
EX	EX. GATE VALVE	—	OVERHEAD LINES
EX	EX. CATCH BASIN	—	FENCE LINE
EX	EX. AIR CONDITIONER	—	RIGHT OF WAY
EX	EX. PEDESTAL	—	ZONING LIMITS
EX	EX. HYDRANT	—	PROPERTY BOUNDARY
EX	EX. SIGN	—	RETAINING WALL
EX	EX. CLEANOUT	—	TREE LINE
EX	EX. WATER SHUT-OFF	—	CONTOUR 1 FT. INCR.
EX	EX. SANITARY MANHOLE	—	CONTOUR 5 FT. INCR.
EX	EX. CATCH BASIN	—	CURB & GUTTER
EX	EX. STORM END SECTION	—	SPILLOUT CURB & GUTTER
EX	EX. STORM MANHOLE	—	WETLAND BOUNDARY
EX	EX. ELECTRIC METER	—	WETLAND BUFFER
EX	EX. OVERHEAD LINES	—	FLOODPLAIN
EX	EX. FENCE	—	EASEMENT
EX	EX. TREE (TAG NO.)	—	PROPOSED CONCRETE PAVEMENT
EX	EX. BOLLARD	—	PROPOSED ASPHALT PAVEMENT
EX	EX. POST	—	
EX	EX. ELECTRIC TRANSFORMER	—	
EX	EX. SOL BORING	—	

- GENERAL NOTES:**  
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - REFER TO CITY OF NOV1 PAVING STANDARD DETAILS FOR ADDITIONAL DETAILS.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOV1 CURRENT STANDARDS AND SPECIFICATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ALL ON SITE SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH MUTCD. PARKING STALL STRIPING SHALL BE 4" WIDE (SINGLE) AND WHITE. PAINTED ISLANDS ARE 3" SHORTER THAN PARKING STALLS.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND JOB PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

**NOTE:**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

**NOTE:**  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



**SIGNAGE QUANTITIES**

NO PARKING-FIRE LANE (LR7-22)	12 EACH
BARRIER FREE PARKING (R7-8)	5 EACH
VAN ACCESSIBLE PARKING (R7-8 MOD)	1 EACH

ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH CURRENT MUTCD STANDARDS AND SPECIFICATIONS

**CURRENT ZONING:**  
 TOWN CENTER WITH PLANNED REZONING OVERLAY

**BUILDING SETBACKS:**  
 PERMETER: 50 FEET  
 ADELL DRIVE: 30 FEET  
 INTERIOR SIDE: 0 FEET  
 INTERIOR REAR: 15 FEET  
 PER 3.27.1.C SETBACK WAIVER IN PRO APPROVAL

**PARKING SETBACKS:**  
 PERMETER: 20 FEET  
 ADELL DRIVE: 18 FEET  
 INTERIOR SIDE: 0 FEET  
 INTERIOR REAR: 0 FEET  
 PER 3.27.1.C SETBACK WAIVER IN PRO APPROVAL

**SITE AREA:**  
 TOTAL ACRES: 3.15 ACRES

**PARKING DATA:**  
 PROPOSED PARKING: ONE (1) SPACE FOR EACH 5.5 MEMBERSHIPS (FAMILY OR INDIVIDUAL)  
 ESTIMATED MEMBERSHIPS = 1000 MEMBERSHIPS  
 NUMBER OF EMPLOYEES = 10 EMPLOYEES  
 1 SPACE x 1000 MEMBERSHIPS/5.5 = 182 SPACES REQUIRED  
 TOTAL PARKING REQUIRED: 182 SPACES, 8 BARRIER-FREE  
 TOTAL PARKING PROVIDED: 192 SPACES, 6 BARRIER-FREE

**BICYCLE PARKING DATA:**  
 PROPOSED PARKING: 5% OF REQUIRED AVERAGED PARKING SPACES  
 REQUIRED: 182 SPACES x 5% = 9.1 = 9 SPACES REQUIRED  
 TOTAL PARKING PROVIDED: 10 SPACES

**LOADING ZONE DATA:**  
 PROPOSED LOADING: LENGTH OF BUILDING FRONTAGE X 10  
 REQUIRED: 151.33 X 10 = 1513 SF REQUIRED  
 LOADING AREA PROVIDED: 1400 SF

**GREENTECH ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS

RESIDENTIAL  
 COMMERCIAL  
 INDUSTRIAL  
 TRANSPORTATION  
 UTILITIES

51147 N. Pontiac Trail, Warren, MI 48393  
 Phone: (248) 668-0700 Fax: (248) 668-0701

**811**  
 Know what's below  
 Call before you dig.

**PLANET FITNESS SITE PLAN**

CLIENT: \_\_\_\_\_

REVISED: \_\_\_\_\_

DATE: 12-19-2018  
 DRAWN BY: RMS/MW  
 CHECKED BY: DJL/JMF

SCALE: HOR 1"=30 FT  
 VER 1"=5 FT

4

UNIT 2 ADELL CENTER DRIVE - PARCEL NO. 22-15-478-002

TOWNSHIP 15 N  
 RANGE 3E  
 SECTION 15

CITY OF NOV1  
 OAKLAND COUNTY  
 MICHIGAN

UNIT 2 PLANET FITNESS





**BUILDING ELEVATIONS**

REVISION	DATE

**robert o. lyon + associates, inc.**  
 ARCHITECT  
 10000 W. BOULEVARD  
 SUITE 100  
 BOCA RATON, FL 33433  
 TEL: 561.991.1100  
 WWW.ROBERTOLYON.COM

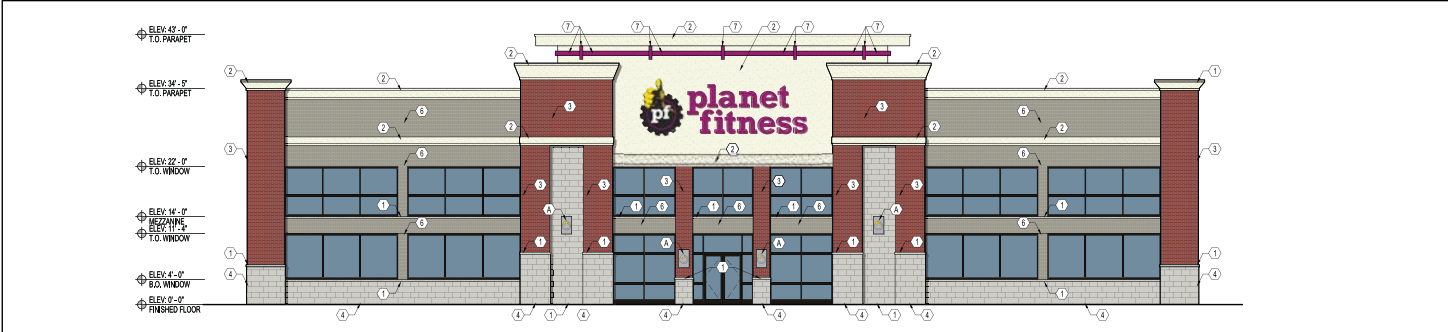
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SCHEMATIC ELEVATIONS

DESIGNED BY	ES
CHECKED BY	MS
JOB NUMBER	18206
DRAWN BY	EL-1

- 1. STONE COPINGS, SILLS, AND FACES TO BE INSTALLED WITH SATIN OR SMOOTH CAFE OF THE RENAISSANCE SERIES PROVIDED BY ARKSCRAFT INTERNATIONAL.
  - 2. EIFS SYSTEM TO MATCH COLOR, SHERWIN WILLIAMS #7969 STUCCO. PAINT IF NECESSARY WITH SWY #7969 STUCCO.
  - 3. BRICK FACE TO BE INSTALLED WITH ASPEN SERIES BRICK (UT05140) PROVIDED BY GLEN GERY.
  - 4. STONE FACES TO BE INSTALLED WITH ROCKED CAFE OF THE RENAISSANCE SERIES PROVIDED BY ARKSCRAFT INTERNATIONAL.
  - 5. ALL GLASS MULLION (STOREFRONT AND WINDOWS) FINISHES TO BE DARK BRONZE #10 (AA410021AA) OF FERROVOK ANODIZED FINISHES PROVIDED BY KAWNEER.
  - 6. BRICK FACE TO BE INSTALLED WITH COOLSPRING SERIES (MODULAR) PROVIDED BY GLEN GERY.
  - 7. ELEMENTS TO BE PAINTED WITH PANTONE 286C.
- A. WALL SCONCES. INSTALL 20"X30" WALL SCONCES (PPH34-PL24W) PROVIDED BY STONE MATHER DESIGNS.

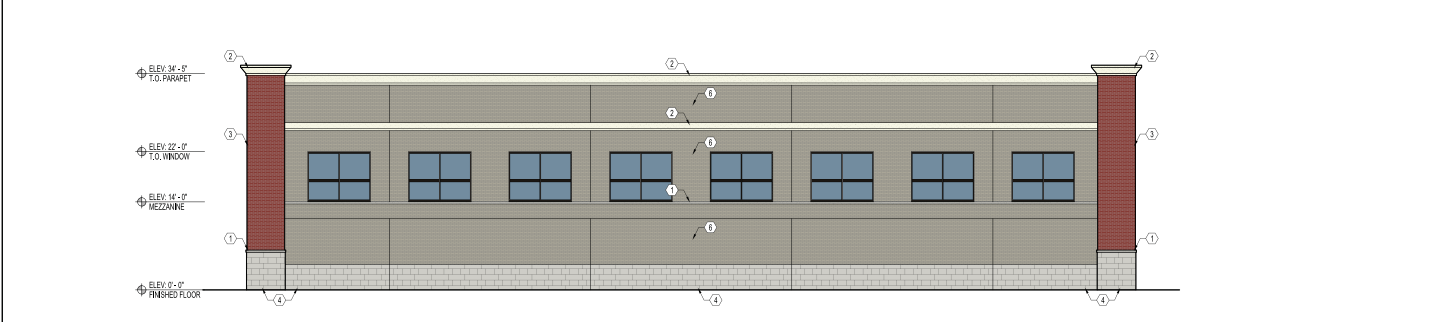


4 SCHEMATIC ELEVATION - EAST

SCALE  
1/8"=1'-0"

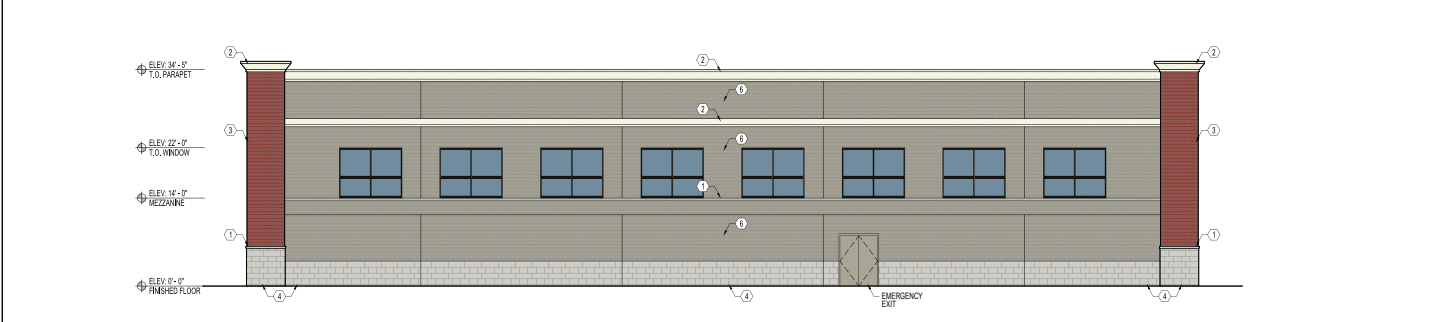
KEY NOTES

SCALE  
N/A



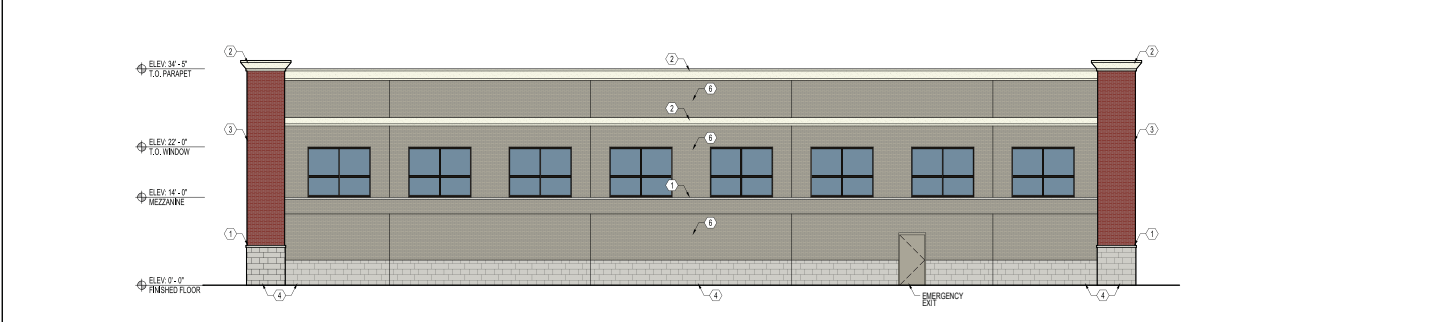
3 SCHEMATIC ELEVATION - SOUTH

SCALE  
1/8"=1'-0"



2 SCHEMATIC ELEVATION - WEST

SCALE  
1/8"=1'-0"



1 SCHEMATIC ELEVATION - NORTH

SCALE  
1/8"=1'-0"

FAÇADE BOARD



1



2



3



4



5



6

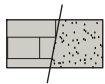


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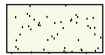


Planet Fitness  
Adell Center  
Novi, MI  
Storefront Material Board

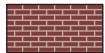




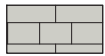
1. STONE COPINGS, SILLS, AND FACES TO BE INSTALLED WITH SATIN OR SMOOTH CAFÉ OF THE RENAISSANCE SERIES PROVIDED BY ARRISCRAFT INTERNATIONAL.



2. EFIS SYSTEM TO MATCH COLOR, SHERWIN WILLIAMS #7569 STUCCO, PAINT IF NECESSARY WITH SW #7569 STUCCO.



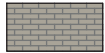
3. BRICK FACE TO BE INSTALLED WITH ADRIAN SERIES BRICK (UT05716D) PROVIDED BY GLEN GERY.



4. STONE FACES TO BE INSTALLED WITH ROCKED CAFÉ OF THE RENAISSANCE SERIES PROVIDED BY ARRISCRAFT INTERNATIONAL.



5. ALL GLASS MULLION (STOREFRONT AND WINDOWS) FINISHES TO BE DARK BRONZE #40 (AA-M10C21A44) OF PERMANODIC ANODIZED FINISHES PROVIDED BY KAWNEER.



6. BRICK FACE TO BE INSTALLED WITH COOLSPRING SERIES (MODULAR) PROVIDED BY GLEN GERY.



7. ELEMENTS TO BE PAINTED WITH PANTONE 266C.

## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

January 16, 2019

## Planning Review

Planet Fitness

JSP 18-57

### PETITIONER

Planet Fitness

### REVIEW TYPE

Preliminary and Final Site Plan

### PROPERTY CHARACTERISTICS

Section	15	
Site Location	Tax Map ID would require Master Deed approval; South of I-96, west of Novi Road, northwest of Crescent Boulevard	
Site School	Novi Community School District	
Site Zoning	TC with a Planned Rezoning Overlay (PRO)	
Adjoining Zoning	North	C-Conference district across I-96
	East	TC with a PRO
	West	TC with a PRO
	South	TC with a PRO
Current Site Use	Vacant	
Adjoining Uses	North	iFly- indoor recreational center
	East	Carvana
	West	Existing industrial building
	South	Hotel (per approved PRO plan)
Site Size	3.15 acres	
Plan Date	December 19, 2018	

### PROJECT SUMMARY

The applicant is proposing a single floor 21,054 square foot indoor recreational facility; popularly known as Planet Fitness. The facility is estimating to serve up to 1000 memberships. The subject property is part of a Planned Rezoning Overlay request (PRO) for Adell Center Development, which was approved by City Council at their October 22, 2018 meeting and is subject to conditions of the PRO agreement.

### RECOMMENDATION

Approval of the Preliminary Site Plan is **recommended**, subject to the Planning Commission's consideration of the deviations noted. Additional details need to be resolved prior to Final Site Plan approval.

### PROJECT HISTORY

A pre-application meeting was held for this project on November 15, 2018.

### ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Additional Deviations: These two deviations are not part of the approved PRO plan. However, Planning Commission can approve these deviations.
  - a. The current plan does not propose the **minimum required perimeter trees along the western boundary. Screening of the loading area is also required. The applicant should review the Landscape Review letter to determine if screening is possible in the parking lot setback (on top of the underground storm water vault); whether it is shrubs or additional landscaping other than grass.**
  - b. A minimum of 1,410 square foot of loading space is required. 1,400 are proposed. Staff supports the request due to the minimal reduction requested. **The location of loading space is subject to the City's Traffic Engineer's recommendation. Please provide the largest truck that would access the site and related truck turning patterns.**
2. Lighting and Photometric Plan: Additional information is required to address all comment with regards to proposed lighting and photometric plan. Please refer to Plan review chart for additional details. Following deviations from spillover requirements are approved as part of the PRO agreement.
  - a. *Planning deviation from Section 5.7 .3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept to the maximum allowable 4: 1;*
  - b. *Planning deviation to allow exceeding the maximum spillover of 1 foot candle and allowable increase of the average to minimum light level ration from 4: 1 within the Adell Drive pavement areas as listed in Section 5.7 .3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units; **The plan deviates from the maximum spillover requirements along the access easement. However, the applicant should justify whether the additional spillover along the access easement cannot be reduced further.***
3. Access to the site: The current site shares site access with Unit 1 and Unit 3. **The Engineering letter indicates that all access and driveways to the site must be paved.** The Draft PRO Agreement also indicates that the required secondary access drive for the entire Adell Center site, proposed to the north of the Planet Fitness site may be gravel, but only for secondary access purposes. **In the response letter, the applicant should explain how paved access (both primary and secondary) will be provided to the site. Any off-site easements anticipated must be executed prior to final approval of the plans.**
4. Traffic Reviews: Traffic review states concerns about the truck maneuverability for dumpster truck and loading truck. Please refer to façade review for more details and other comments.
5. Façade Review: The applicant should clarify the size format of item No. 4; Stone in the sample board. In order to qualify as "Stone" this material would have to be 16" high X 24" wide format (the elevations appear to indicate 8" H x 16" W). Please refer to façade review for more details.
6. Improvements along Adell Drive: Please clarify in your response letter regarding the timing and responsible party for improvements along Adell Drive within the access easement, specifically street trees, sidewalk and decorative brick wall. Please co-ordinate with Roads and Utilities Site plan to show latest improvements.
7. Decorative Brick Wall along Adell Drive: The approved PRO agreement refers to a decorative brick wall. The plan indicates a combination of brick and semi-transparent wall on the plans.
8. Fire Review: Fire is currently **not recommending approval** due to insufficient truck turning radii. Please refer to Fire review for more details. **The applicant should satisfactorily address this issue**



**prior to Planning Commission's consideration of Preliminary Site Plan. Changes to planting islands may be required to provide additional turning radii.**

9. Easements and Master Deed: All off-site easements should be recorded prior to final site plan approval. Drafts for all on-site easement should be submitted along with electronic stamping sets. Amendments to Master Deed, if any, should be submitted for staff review.
10. Plan Review Chart: Planning review chart provides additional comments and requests clarification for certain items. Please address those in addition to the comments provided in this letter.

#### **LIST OF DEVIATIONS UNDER CONSIDERATION AS PART OF PRO**

Following list of deviations is being considered as part of Adell Drive PRO Concept Plan, subject to City Council's final approval. The current site plan should conform to the following conditions.

1. Planning deviation from section 5.12 to allow lack of required frontage on public road for Units 1 through 8. Frontage is proposed via a proposed private drive, built to City standards;
2. Planning deviation from section 3.1.25.D to allow reduction of minimum required front parking setback of 20 ft., from the proposed access easement. A maximum of 18 feet is requested;
3. Planning deviation from section 3.1.25.D to allow reduction of minimum required interior side parking setback of 20 ft. for the following units as shared access is proposed between parking lots;
  - a. Unit 2: minimum 15 ft. along South
4. Planning deviation to allow placement of loading areas in alternate locations instead of required rear yard or interior side yard for double frontage lots, as listed below, provided proposed locations do not conflict with traffic circulation and appropriate screening will be provided at the time of Preliminary site plan review:
  - a. Unit 2: interior side yard (no double frontage)
5. The applicant shall provide supporting data to justify the proposed loading area square footages, to be reviewed and approved by Planning Commission at the time of Preliminary site plan approval;
6. Planning deviation from standards of Sec. 5.12 for up to 5% reduction in minimum required parking (to be established by staff after reviewing the calculations provided) for each unit within the development subject to the individual users providing satisfactory justification for Planning Commission's approval of the parking reduction at the time of respective site plan approval;  
**Reduction of minimum required parking is not requested at this time.**
7. Façade deviation to allow the following allowable percentages of materials set forth in section 5.15 of Zoning Ordinance, only for the buildings listed below:
  - a. Unit 2 Planet Fitness
    - i. The applicant shall provide revised elevations addressing comments provided in Façade review letter dated August 14, 2018 for Planning Commission's approval of Section 9 waiver at the time of preliminary site plan review;
8. Planning deviation from the requirement in section 4.02.B Article IV, Appendix C-Subdivision ordinance of City Code of Ordinances that side lot lines be perpendicular or radial to the road, for the lines between Units 6 and 7, Units 4 and 5, and Units 1 and 2, only;

9. Planning deviation to allow proposing the minimum required Open Space for each Unit as Common element spread within the development boundaries as shown in the Open Space Plan, provided the applicant restores the wetland/woodland on the southerly portion of the site pursuant to a plan meeting City ordinance requirements is submitted and approved at the time of Wetland permit/preliminary site plan approval, and provides the pedestrian walkway through the open space as proposed. (A minimum of 153 of total site area designed as permanently landscaped open areas and pedestrian plazas is required per section 3.27. I .F.);
10. Planning deviation from Section 5.7 .3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept to the maximum allowable 4: 1;
11. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4: 1 within the Adell Drive pavement areas as listed in Section 5.7 .3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;
12. Engineering deviation from Section 11-194(a) 19 of the Design and Construction Standards, to allow a gravel surface for the secondary emergency access road within the boundaries of Unit 2 until the site improvements for Unit 2 are constructed.

#### OTHER REVIEWS

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- a. Engineering Review: Engineering recommends approval of Preliminary site plan with additional comments to be provided with revised final site plan submittal.
- b. Landscape Review: Landscape recommends approval of Preliminary site plan. Additional comments to be addressed with revised final site plan submittal.
- c. Traffic Review: Traffic recommends approval of Preliminary site plan. Additional comments to be addressed with revised final site plan submittal.
- d. Facade Review: Façade recommends approval. A façade board is submitted
- a. Fire Review: Fire is currently **not recommending** approval.

#### PLANNING COMMISSION MEETING

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All reviews except Fire are recommending approval at this time. The plan can be scheduled for Planning Commission's consideration on January 23, 2018. The following are required by 10 am on January 18, 2019 to keep the schedule.

1. A response letters addressing all comments in all review letters
2. Original site plan submittal in PDF format
3. A revised exhibit addressing Fire comments. **The application will be presented for Planning Commission's consideration if Fire comments are satisfactorily addressed prior to the meeting.**
4. Color renderings of the site plan or elevations, if available

#### REVISED FINAL SITE PLAN SUBMITTAL

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Landscape, Engineering Fire and Traffic are not recommending approval. After receiving the Preliminary Site Plan approval, please submit the following for revised Final site plan review and approval

1. Five copies of revised Final Site Plan addressing all comments from Preliminary review
  2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
  3. Site Plan Revision Application
  4. Final Site Plan Checklist
  5. Legal Documents as required
  6. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)
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### **ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

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After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

### **STAMPING SET APPROVAL**

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Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

### **SITE ADDRESSING**

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**New address is required for this project.** The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#). Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

### **STREET AND PROJECT NAME**

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Not Applicable

### **PRE-CONSTRUCTION MEETING**

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

### **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri – Planner



**PLANNING REVIEW CHART: TC - Town Center District**

**Review Date:** January 16, 2019  
**Review Type:** Preliminary Site Plan and Final Site Plan  
**Project Name:** **18-57 PLANET FITNESS**  
**Plan Date:** December 19, 2018  
**Prepared by:** Sri Ravali Komaragiri, Planner  
**E-mail:** [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org) **Phone:** 248.735.5607

- **Bold:** Items that need to be addressed by the applicant with the revised site plan submittal
- **Bold and Underline:** Does not conform to the code
- *Italics:* Notes to be noted

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 26, 2017)</i>	Office Research Development Technology	Fitness Facility	Yes	
<b>Town Center Area Study</b>	This site is in close proximity to study area boundary for Town Center Area study adopted in 2014	TC with a PRO	No?	
<b>Zoning</b> <i>(Effective Dec. 25, 2013)</i>	EXPO	TC: Town Center with a PRO	Yes	<i>The subject property is part of a Planned Rezoning Overlay request for Adell Center Development, which was approved by City Council at their October 22, 2018 meeting.</i>
<b>Density</b> <i>Future Land Use Map(adopted July 26, 2017)</i>	Not Applicable	Residential development not proposed	NA	
<b>Phasing</b>	Show proposed phasing lines on site plan. Describe scope of work for each phase. Each phase should be able to stand on its own with regards to utilities and parking	Phasing is not proposed.	NA?	
<b>Height, bulk, density and area limitations</b>				
<b>Frontage on a Public Street</b> <i>(Sec. 5.12) (Sec. 6.3.2.A</i>	Frontage upon a public street is required	Frontage and access from the proposed private drive.	No	<i>This deviation is approved as past the Adell Center PRO request</i>

Item	Required Code	Proposed	Meets Code	Comments
<b>Access To Major Thoroughfare</b> (Sec. 5.13)	Access to major thoroughfare is required, unless the property directly across the street between the driveway and major thoroughfare is either multi-family or non-residential	Adell Center has access to Crescent Boulevard, individual parcels have access to internal private drive; No single family residential zoning in the vicinity	NA	<i>This deviation is approved as past the Adell Center PRO request</i>
<b>Open Space Area</b> (Sec. 3.27.1.F)	15% (permanently landscaped open areas and pedestrian plazas).	Required open space is provided at a central location within Adell Center development.  A small pocket park is proposed as agreed to allow for pedestrian crossing across Adell Center	Yes	
<b>Maximum % of Lot Area Covered</b> (By All Buildings) (Sec. 3.6.2 D)	No Maximum	15% lot coverage  Total site area: 3.1 acres Pervious Area: unknown Impervious Area: unknown Building foot print 21,054 SF	Yes	<b>Include the lot coverage on the site plan</b>
<b>Building Height</b> (Sec.3.1.26.D)	5 stories or 65 ft, whichever is less	43 feet	Yes	<b>Include maximum height on the site plan</b>
<b>Building Setbacks (Sec 3.1.26 D) and (Sec. 3.27.1.C)</b>				
<b>Front</b> 50 feet minimum from all lot lines for exterior lot  15 feet minimum for front side, for interior lot lines  15 feet between separate buildings on same side	Has frontage on Adell drive. A minimum of 15 ft. is required.	Buildings are setback over 15 feet	Yes	<b>Please provide the proposed setbacks on the site plan along with the required.</b>  <b>Setbacks indicated on the plan do not match either.</b>

Item	Required Code	Proposed	Meets Code	Comments
<b>Side Yard</b> 50 feet exterior 15 feet interior  Exterior: lot lines located abutting non-TC district lots.  Interior: lot lines abutting TC district lots.	All units require a minimum of 15 ft. from side lot lines	17.7 feet	Yes	
<b>Rear Yard</b> 50 feet exterior 15 feet interior  Exterior: lot lines located abutting non-TC district lots.  Interior: lot lines abutting TC district lots.	15 feet	A minimum of 15 feet appears to be provided	Yes	<b>Please provide the distance from side lot line to the building for both south and east sides</b>
<b>Parking Setback (Sec 3.1.25.D)</b>				
<b>Front Parking Setback</b>	18 ft. from access easement for private roads <b>as per the Adell Center PRO Agreement</b>	18 feet	Yes	<b>Parking setback line should be from access easement, not the sidewalk.</b>
<b>South Side Yard Parking Setback</b>	15 ft. from side lot line	15 feet	Yes	
<b>North Side Yard Parking Setback</b>	20 ft. from side lot line	20 feet	Yes	
<b>Rear Yard Parking Setback</b>	10 ft. from lot lines and ROW	20 feet	Yes	
<b>Note To District Standards (Sec 3.6.2)</b>				
<b>Exterior Side Yard Abutting a Street (Sec 3.6.2.C)</b>	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	Not applicable	NA	
<b>Minimum lot area and width (Sec 3.6.2.D)</b>	Except where otherwise provided in this ordinance, the minimum lot area and width,	Lot area and dimension are consistent with the Site Condominium and PRO for Adell Center	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	maximum percentage of lot coverage shall be determined by the requirements set forth.			
<b>Yard setbacks</b> (Sec 3.6.2.H&L)	If site abuts a residential zone, buildings must be set back at least 3' for each 1' of building height, but in no case can be less than 20' setback	Does not abut residential zoning	NA	
<b>Wetland/Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained	No wetlands or woodlands on site	NA	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is included		<b>Refer to Landscape review for more details.</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q.	Parking setbacks are regulated by PRO agreement	No	<b><u>Refer to parking setback comments</u></b>
<b>TC District Required Conditions (Sec 3.27)</b>				
<b>Site Plans</b> (Sec. 3.27.1.A.)	Site area under 5 acres: Requires Planning Commission approval; Site area over 5 acres: Requires City Council approval upon Planning Commission recommendation	The subject parcel is less than 5 acres	Yes	<i>Site plan approval for individual lots less than require Planning Commission approval</i>
<b>Parking Setbacks and Screening</b> (3.27.1 D)	20 ft. from ROW (access easement for private roads)	A setback for 18 feet is being considered as part of the PRO request	Yes	
	Surface parking areas must be screened by either a 2.5 ft. brick wall, semitransparent screening or a landscaped berm from all public ROW (access easement for private	A combination of brick wall and a semi-transparent screening is provided on both side of proposed Adell drive	Yes?	<b>PRO agreement refers to brick wall. The plans should be revised to conform to the PRO agreement</b>

Item	Required Code	Proposed	Meets Code	Comments
	roads)			
	For TC-1, No front yard or side yard parking on any non-residential collector.	Not applicable	NA	
<b>Architecture/Pedestrian Orientation</b> (3.27.1 E)	No building in the TC-1 district shall be in excess of one-hundred twenty-five (125) feet in width, unless pedestrian entranceways are provided at least every one-hundred twenty-five (125) feet of frontage.	Not applicable	NA	
<b>Façade materials</b> (Sec. 3.27.1 G)	All sides of the building and accessory buildings must have the same materials. Façade materials may deviate from brick or stone with PC approval.	Building elevations conform to the code	Yes?	<b>Refer to Façade review letter that requests one clarification</b>
<b>Parking, Loading, Signs, Landscaping, Lighting, Etc</b> (Sec. 3.27.1 H)	All loading shall be in rear yards.	A loading zone is provided in the rear yard	Yes	
	Off-street parking counts can be reduced by the number of on-street parking adjacent to a use	On-street parking is not proposed	NA	
	PC may allow parking requirement reduction when parking areas serve dual functions.	Upto 5 percent reduction is allowed per PRO agreement, subject to supporting documentation	NA	<b>Parking reduction is not requested at this time</b>
	Special assessment district for structured park	Not proposed	NA	
<b>Sidewalks required</b> (Sec. 3.27.1 I)	For TC-1 only, Sidewalks required along non-residential collector to be 12.5 ft. wide.	Not Applicable	NA	



Item	Required Code	Proposed	Meets Code	Comments
	Direct pedestrian access between all buildings and adjacent areas	A pedestrian connection from building to sidewalks along Adell Drive is provided	Yes	
<b>Bicycle Paths</b> (Sec. 3.27.1 J)	Bike paths required to connect to adjacent residential & non-residential areas.	Not required	NA	
<b>Development amenities</b> (Sec. 3.27.1 L)	All sites must incorporate amenities such as exterior lighting, outdoor furniture, and safety paths in accordance with Town Center Study Area.	Amenities are provided as part of the Site Condominium project for Adell Center	Yes?	<b>The applicant may choose to provide additional amenities on site for added value</b>
<b>Combination of use groups within a single structure</b> (Sec. 3.27.1 M) (Sec.3.27.2.B)	- Additional regulations per Sec. 3.27.1.M and 3.27.2.B apply if combination of uses proposed in same building	Each building stands on its own with a single use	NA	
<b>Street and Roadway Rights-Of-Way</b> (Sec. 3.27.1 N)	Nonresidential collector and local streets shall provide ROWs consistent with DCS standards  Roadway width: 36 feet ROW/Access Easement: 70 feet	Roadway width: 36 feet Access Easement: 70 feet	Yes	
<b>Parking, Handicap Parking and Bike Requirements</b>				
<b>Required Parking Calculation</b> (Sec. 5.2.12) (Sec. 4.82.2)	30,000 SF or less: 1 for each 5.5 memberships Greater than 30,000 SF: 1 for each 9 memberships (family or individual)	1,000 memberships estimated 10 employees  182 spaces required 192 spaces provided	Yes	
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>  <i>*No deviations since this is a Michigan Building Code requirement</i>	For 151 to 200 spaces, six handicap spaces are required	Six van accessible spaces are proposed	Yes?	
<b>Minimum number of Bicycle Parking</b> (Sec. 5.16.1)	Five (5) percent of required automobile spaces, minimum eight	9 spaces required 10 spaces provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	(8) spaces			
<b>Parking Lot Design Requirements (Sec. 5.3.2.)</b>				
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	<ul style="list-style-type: none"> <li>- 90° Parking: 9 ft. x 19 ft.</li> <li>- 24 ft. two way drives</li> <li>- 9 ft. x 17 ft. parking spaces allowed as long as detail indicates a 4" curb at these locations</li> <li>- 60° 9 ft. x 18 ft.</li> </ul>	All appear to be 9 ft. x 19 ft. - 9 ft. x 17 ft. parking spaces allowed as long as detail indicates a 4" curb at these locations	Yes	
<b>Parking lot entrance offset</b> (Sec. 5.3.6)	Parking lot entrances must be set back 25' from any single-family residential district.	Subject property does not abut single-family residential district.	NA	
<b>End Islands</b> (Sec. 5.3.12)	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall</li> </ul>	Requires additional dimensions	No?	<b>Refer to Traffic Comments</b>
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	- Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Not applicable	NA	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 8' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	Five 8' wide spaces with an 8' wide access aisle for van are provided	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs indicated	Yes	
<b>Bicycle Parking General requirements</b> (Sec. 5.16)	- No farther than 120 ft. from the entrance being served	Meets the requirements	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> </ul>			
<b>Bicycle Parking Lot layout</b> (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Sheet 10 does not include the layout as indicated on sheet 4	No	<b>Please provide the required layout</b>
<b>Loading Space</b> (Sec. 5.4.2.)	Loading area required for all uses in Town Center	One is provided	Yes	
<b>Loading Space location</b> (Sec. 5.4.2)	<ul style="list-style-type: none"> <li>- rear yard or</li> <li>- interior side yard beyond the side yard setback for double frontage lots</li> </ul>	Located in rear yard Meets parking setbacks	Yes	
<b>Loading Space Area</b> (Sec. 5.4.2)  In the ratio of 10 sq. ft. per front foot of building.	The building appears to be 141 feet long. 1,410 SF is required	1,400 square feet is proposed	Yes?	<u>Planning Commission can allow reduction of loading area square footage. The reduction is insignificant</u>
<b>Loading Space Screening</b> (Sec. 5.4.2 B)	Loading area must be screened from view from adjoining properties and from the street.	Landscape plan is provided	Yes?	Refer to landscape review for more details.

Item	Required Code	Proposed	Meets Code	Comments
<b>Dumpster</b> <i>Sec 4.19.2.F</i>	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or no closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- Rear lot abuts ROW, 50 ft. setback required.</li> <li>- Away from Barrier free Spaces</li> </ul>	Rear yard	Yes	<b>Refer to Traffic comments with regards to dumpster accessibility</b>
<b>Dumpster Enclosure</b> <i>Sec. 21-145. (c)</i> <i>Chapter 21 of City Code of Ordinances</i>	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Sheet 9 does not include the layout as indicated on sheet 4  Sheet 10 indicates the detail	No?	<b>The dumpster detail should be revised to indicate "brick, to match the building."</b>
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
These deviations is being considered as part of the Adell Center PRO plan <ol style="list-style-type: none"> <li>1. Planning deviation from Section 5.7.3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept the maximum allowable 4:1;</li> <li>2. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4:1 within the Adell Drive pavement areas as listed in Section 5.7.3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;</li> </ol>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spill-over onto adjacent properties & reduce unnecessary transmission of light into the night sky	A plan is provided	Yes	
<b>Lighting Plan (Sec. 5.7.2 A.i)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			

Item	Required Code	Proposed	Meets Code	Comments
<b>Building Lighting</b> (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Information not included	No	<b>Please include the related information</b>
<b>Lighting Plan</b> (Sec. 5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures	Not all luminaires are provided	No	<b>Please provide cut sheets for all proposed luminaires within the site</b>
	Photometric data	Provided	Yes	
	Fixture height	Not provided	No	<b>Indicate maximum height</b>
	Mounting & design	Provided	Yes	
	Glare control devices	Provided	Yes	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Not included	Yes	<b>Provide hours of operation</b>
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
<b>Required Conditions</b> (Sec. 5.7.3.A)	Light pole height not to exceed maximum height of zoning district (65 ft. for TC)	Not provided	No	<b>Indicate maximum height</b>
<b>Required Conditions</b> (Sec. 5.7.3.B&G)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Not shown on plans	No	<b>Please include the notes on the plan</b>
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded, and aimed at the areas to be secured.</li> </ul>	Unable to determine	No	<b>Please indicate the number and location of lights that will be turned on past business hours?</b>

Item	Required Code	Proposed	Meets Code	Comments
purposes shall be directed only onto the area to be secured.	- Fixtures mounted on the building and designed to illuminate the facade are preferred.			
<b>Required Conditions (Sec.5.7.3.E)</b>	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Meet the requirements	Yes	
<b>Required Conditions (Sec. 5.7.3.F)</b>	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps			
<b>Min. Illumination (Sec. 5.7.3.K)</b>	Parking areas: 0.2 min	Meet the requirements	Yes	
	Loading & unloading areas: 0.4 min	0.2 min	No	Revise the photometric to meet the minimum
	Walkways: 0.2 min	Meet the requirements	Yes	
	Building entrances, frequent use: 1.0 min	Meet the requirements	Yes	
	Building entrances, infrequent use: 0.2 min	Meet the requirements	Yes	
<b>Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)</b>	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Meet the requirements	Yes	
<b>Cut off Angles (Sec. 5.7.3.L)</b>	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle			
<b>Building Code and Other Requirements</b>				
<b>Accessory Structures (Sec. 4.19)</b>	- Each accessory building shall meet all setback requirements for the zoning district in which the property is situated - Shall meet the façade	Accessory structures are not proposed	<b>NA</b>	

Item	Required Code	Proposed	Meets Code	Comments
	ordinance standards			
<b>Roof top equipment and wall mounted utility equipment</b> Sec. 4.19.2.E.ii	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Information not provided	No	<b>Refer to Façade review for more information requested</b>
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.	Sidewalks not shown on the plans	No	<b>Provide a connection from building to sidewalk along Adell Drive</b>
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes?	<b>Master deed exhibit requires additional revisions</b>
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Mostly provided. Additional information requested in this and other review letters	No	<b>Provide additional information as requested in all reviews</b>
<b>Economic Impact</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied, if known)</li> </ul>	Not provided	No?	Provide requested information
<b>Signage</b>  See link below <u><a href="#">(Chapter 28, Code of Ordinances)</a></u>	<ul style="list-style-type: none"> <li>- Signage if proposed requires a permit.</li> <li>- <u>Signage is not regulated by the Planning Commission or Planning Division.</u></li> </ul>	Information is not provided	NA	<u>Deviations from sign ordinance are not approved as part of the PRO for this unit.</u>
<b>Property Address</b>	The applicant should contact the Building	One is not required at this time.	<b>No</b>	<u>Submit address application after Final Site Plan</u>

Item	Required Code	Proposed	Meets Code	Comments
	Division for an address prior to applying for a building permit.			<u>approval.</u>
<b>Project and Street Naming Committee</b>	Some projects may need approval from the Street and Project Naming Committee.	Not applicable		
<b>Future Easements</b>	- A 60 feet ROW with additional 10 feet access easement or 70 feet access easement is required for proposed Adell drive	A 70 feet access easement is provided Cross access/parking easements are required	No?	<i>Any changes to off-site and on-site easements as shown on the approved Master Deed or the recorded easements shall be amended, as needed, and according to the current site layout, prior to final stamping set approval.</i>

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.



## ENGINEERING REVIEW



# PLAN REVIEW CENTER REPORT

January 16, 2019

## Engineering Review

Planet Fitness  
JSP18-0057

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### Applicant

Orville Properties LLC

### Review Type

Combined Preliminary/Final Site Plan

### Property Characteristics

- Site Location: South of I-96 Novi Road exit ramp C and west of Novi Road
- Site Size: 3.15 acres
- Plan Date: 12/19/2018
- Design Engineer: Daniel LeClair

### Project Summary

- Construction of an approximately 21,054 square-foot building and associated parking. Site access would be provided via Adell Center Drive.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main along the east side of Adell Center Drive. A 2-inch domestic lead and an 8-inch fire lead would be provided to serve the building, along with an additional hydrant.
- Sanitary sewer service would be provided.
- Storm water would be collected by a single storm sewer collection system and conveyed/discharged to the existing underground detention "A" basin.

### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended and approval of the Final Site Plan is NOT recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of revised Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments** (to be addressed upon the revised Final Site Plan submittal):

**General**

1. The City standard detail sheets are not required for the Preliminary/Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website ([www.cityofnovi.org/DesignManual](http://www.cityofnovi.org/DesignManual)).
2. Update plans to show current site benchmarks for Adell Center Property.
3. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County.
4. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and **illustrate** on the profiles.
5. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
6. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.

**Water Main**

7. Provide a profile for all proposed water main 8-inch and larger.
8. Indicate the water main lengths and materials on the site plans.
9. Place the water main within the 20-foot public water main easement.
10. The fire service lead should be its own item on the materials table.
11. Provide three (3) signed and sealed sets of revised utility plans along with the MDEQ permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

**Sanitary Sewer**

12. Provide a note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
13. Provide a note on the Utility Plan stating that sanitary leads shall be buried at least 5 feet deep where under the influence of pavement.

**Storm Sewer**

14. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
15. Provide a four-foot deep sump in the last storm structure prior to discharge to the existing underground detention basin "A".
16. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
17. Show and label all roof conductors, and show where they will tie into the storm sewer system on the layout and on the profile.
18. Any 2-foot catch basins must be followed by a 4-foot catch basin within 50-feet.

**Storm Water Management Plan**

19. The Storm Water Management Plan (SWMP) shall comply with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).
20. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
21. Provide manufacturers details and sizing calculations for the pretreatment structure within the plans. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr). Higher flows shall be bypassed.
22. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high water elevation of the groundwater table.

**Paving & Grading**

23. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
24. Provide a line designation representing the effective 19-foot stall length for 17-foot perimeter stalls.
25. Detectable warning plates are required at all barrier free ramps, hazardous vehicular crossings and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the latest version of the MDOT standard detail for detectable surfaces.
26. Label specific ramp locations on the plans where the detectible warning surface is to be installed.
27. The curb height on the integral walk shall be 6-inches.
28. Per Section 26.5-35(h), a statement is required on any plan containing a private street with the following language: "City of Novi has no responsibility

to improve or maintain the private streets contained within or private streets providing access to the property described in this plan”.

### **Soil Erosion and Sediment Control**

29. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. An informal review will be completed with the Final Site Plan if SESC plans are included in the submittal.

### **Off-Site Easements**

30. Any off-site utility easements must be executed **prior to final approval of the plans**. If you have not done so already, drafts of the easements and a recent title search shall be submitted as soon as possible to the Community Development Department for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

### **The following must be submitted at the time of revised Final Site Plan submittal:**

31. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.
32. Submit a revised cost estimate to include roof drains, change in paving materials, etc.

### **The following must be submitted at the time of Stamping Set submittal:**

33. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
34. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
35. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
36. A draft copy of the 20-foot wide easement for the manhole to be constructed on the site must be submitted to the Community Development Department.
37. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
38. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

39. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
40. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
41. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
42. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
43. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities (as specified in the Storm Water Management Ordinance) must be posted with Community Development.
44. A street sign financial guarantee in an amount of \$7,200 (\$400 per traffic control sign proposed) must be posted with Community Development.
45. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the Engineering Division after the water main plans have been approved. Please submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit.

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



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Kate Richardson, EIT  
Plan Review Engineer

cc: Sri Komaragiri, Community Development  
George Melistas, Engineering

## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

December 21, 2018

## Preliminary/Final Site Plan - Landscaping

### Planet Fitness

Review Type

Preliminary/Final Landscape Review

Job #

JSP18-0057

Property Characteristics

- Site Location: Adell Center Unit #2
- Site Acreage: 3.2 acres
- Site Zoning: TC with PRO
- Adjacent Zoning: North, East, South: TC PRO, West: I-2
- Plan Date: 12/19/2018

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plans, but not Final Site Plans.** Assuming the one landscape waiver is granted by the Planning Commission, the remaining issues can easily be addressed in Final Site Plans.

Landscape Waiver Required:

Lack of any perimeter canopy trees along the west property line. *This is caused by a combination of the layout and the location of an underground detention structure being constructed along entire west property line as part of the overall site's Roads and Utilities design and construction.*

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. There are no overhead utility lines in the vicinity of the project.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2) )

1. There are no woodland trees on the site.
2. The trees and other plantings to be installed as part of the Roads & Utilities construction are shown as such on the landscape plans.
3. **Please add tree fencing to protect all of that landscaping during construction of the Planet Fitness site.**



Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. As part of the PRO agreement, the front greenbelt depth was set at 18 feet from the access easement line to the back of parking lot curb.
2. Based on the 330 feet net frontage, 13 greenbelt canopy or 22 subcanopy trees are required along the Adell Drive greenbelt. 7 canopy trees are provided as street trees in the Roads & Utilities plans.
3. As a result, 6 additional canopy trees are required within the greenbelt. The current plans show 11 parking lot perimeter trees that can be double-counted toward the greenbelt requirement.
4. **The PRO agreement states that the entire Adell Drive frontage should have walls, not a mix of walls, fencing and berms. Please revise the plan to show only walls along Adell Drive. Please show that the walls will be built as part of the Planet Fitness construction.**
5. **Please clearly show the access easement line and dimension the distance between the back of curb and access easement line on the Site Plan.**
6. **Please clearly show the access easement line along Adell Drive on the landscape plan.**
7. **Please provide a clear view to the building address (number) from Adell Drive through the greenbelt landscaping.**

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

The street trees shown along Adell Drive will be planted during Roads & Utilities construction.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 4,052 sf of islands and 20 canopy trees are required. 4,179 sf of islands and 20 trees are provided.
2. **Please move trees out of islands where sufficient area is not provided (200sf per tree) and put them in islands that qualify.**
3. **Please show the areas in SF of the endcap islands on the north side of the building and enlarge them to have at least 200sf of landscape area in each to support the trees planted there. (Trees are required in those islands.)**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. There is only perimeter space along the east and west property lines. 11 trees are required along the west property line and 9 trees are required in the Adell Drive greenbelt. A total of 14 canopy trees are provided, all in the Adell Drive green belt and parking spaces.
2. **A landscape waiver is required for this deficiency in perimeter parking lot trees. *The cause of the waiver is the lack of planting area along the west property line, which was created by the site layout and the location of the underground detention basin which is part of the Roads & Utilities Plans.***
3. **At a minimum, a line of shrubs that would provide year-round screening (ie shrubs) but not damage the underground detention basin should be provided along the west side to help soften the view of the industrial development to the west.**

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The loading zone is behind the building so no landscape screening is required.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the building perimeter, 4,368 sf of foundation landscape area is required and 5,251 sf is provided.
2. 82% of the building frontage facing Adell Drive is landscaped.

Plant List (LDM 2.h. and t., LDM 4)

1. **Please reduce the number of elms used to no more than 8 to more closely meet the Landscape Design Manual (Section 4) diversity standards.**
2. 50% of the species used are native to Michigan.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

As the detention is all underground, no detention basin landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Either provide an irrigation system plan or note how this will be accomplished if an irrigation plan is not provided.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

No woodlands exist on the site and no trees are proposed to be removed.

Corner Clearance (Zoning Sec 5.9)

Provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – Combined Preliminary/Final Site Plan

**Review Date:** December 21, 2018  
**Project Name:** Planet Fitness  
**Plan Date:** December 19, 2018  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the revised Final Site Plan.

### LANDSCAPE WAIVER REQUIRED:

Lack of any perimeter canopy trees along the west property line. *This is caused by a combination of the layout and the location of an underground detention structure being constructed along entire west property line as part of the overall site's Roads and Utilities design and construction.*

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1" =20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	<ul style="list-style-type: none"> <li>▪ No landscape plan is provided.</li> <li>▪ Site Plan scale is 1" =30'</li> </ul>	Yes	
<b>Project Information</b> (LDM 2.d.)	Name and Address	Address and business name is on Site Plan.	Yes	<b>Please include on landscape plans.</b>
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Business name but not address is included on Landscape Plan	Yes	<b>Please include address on landscape plans.</b>
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Required for Final Site Plan</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	Site: TC PRO North, East, South: TC PRO West: I-2	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>Legal description or boundary line survey</li> <li>Existing topography</li> </ul>	<ul style="list-style-type: none"> <li>Legal description on cover sheet</li> <li>Existing Conditions on Sheet 3</li> </ul>	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>Show location type and size. Label to be saved or removed.</li> <li>Plan shall state if none exists.</li> </ul>	Plantings to be installed as part of Roads & Utilities construction are shown as such.	Yes	
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>As determined by Soils survey of Oakland county</li> <li>Show types, boundaries</li> </ul>	Sheet 2	Yes	
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> <li>Yes – on Site Plan</li> <li>Island widths shown for some islands.</li> </ul>	TBD	<ol style="list-style-type: none"> <li>Please provide dimensions of all landscape islands, back to back.</li> <li>Please clearly show Adell Drive access easement line and dimension distance between that and curbs.</li> </ol>
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	<ul style="list-style-type: none"> <li>Overhead and underground utilities, including hydrants</li> <li>Proposed light posts</li> </ul>	<ul style="list-style-type: none"> <li>Sheet 6</li> <li>Utilities and easements are shown on Sheet L-1.</li> </ul>	Yes	Please include proposed lighting on landscape plan and adjust poles and trees to avoid conflicts in the field.
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> <li>Sheet 5</li> <li>Proposed fencing and walls from Roads &amp; Utilities Plan are provided on Landscape Plan</li> </ul>	Yes	
<b>Snow deposit</b> (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed of loam with 6" top layer of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	The site is not adjacent to residential property so	No berm is proposed.	Yes	

Item	Required	Proposed	Meets Code	Comments
	no berm for this requirement is necessary.			
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> <li>Walls and fencing along Adell Drive are proposed per the Roads &amp; Utilities Plan.</li> <li>A note on the wall/fence details indicates that they will match the existing walls and fencing at the corner of Crescent and Expo Center Drive.</li> </ul>	Yes	
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		See above	TBD	
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)</b>				
<b>Greenbelt width (2)(3) (5)</b>	<ul style="list-style-type: none"> <li>Adjacent to pkg: 20 feet</li> <li>Not adjacent to pkg: 25 feet</li> </ul>	18 ft (approved as part of PRO)	Yes	<b>Please dimension distance from ROW line to closest curb edge on landscape plan.</b>
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>				
Min. berm crest width	<ul style="list-style-type: none"> <li>Adjacent to parking: 3 feet</li> <li>Not adj. to pkg: 0 feet</li> </ul>	No berm is provided	Yes	
Minimum berm height (9)	<ul style="list-style-type: none"> <li>Adjacent to parking: 3 feet</li> <li>Not adj. to pkg: 0 feet</li> </ul>	No berm is provided	Yes	
3' wall	<ul style="list-style-type: none"> <li>(4)(7)</li> </ul>	Walls and fence to match that at Crescent and Expo Center Drive are provided per the Roads & Utilities Plan	Yes	<ol style="list-style-type: none"> <li>The PRO agreement states that only wall will be provided along Adell Drive, not a mix of walls, fences and berms.</li> <li><b>Please revise the plan to show only walls.</b></li> <li><b>Please indicate with a note that that wall</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<b>will be built by Planet Fitness.</b>
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	Adjacent to pkg: 1 tree per 25lf frontage (net of access drives) <ul style="list-style-type: none"> <li>(330)/25 = 13 trees</li> </ul>	<ul style="list-style-type: none"> <li>None</li> <li>7 trees were shown on Roads &amp; Utilities plans</li> <li>14 perimeter canopy trees are provided along the Adell Drive frontage that can also count toward the greenbelt canopy tree requirement.</li> </ul>	Yes	<ol style="list-style-type: none"> <li><b>Only canopy or subcanopy tree requirement needs to be met, not both.</b></li> <li>The 7 trees shown as being planted along the road can be subtracted from this requirement (ie only 6 additional greenbelt trees are required).</li> <li><b>Please show where building number will be and place trees such that there is an open view to the number from the road for emergency vehicles.</b></li> </ol>
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<ul style="list-style-type: none"> <li>Adjacent to pkg: 1 tree per 15 frontage (net of access drives)</li> <li>(330)/15 = 22 trees</li> </ul>	None	Yes	As a sufficient number of canopy trees are provided, no subcanopy trees are required.
<b>Canopy deciduous trees in area between sidewalk and curb</b> <i>(Novi Street Tree List)</i>	<ul style="list-style-type: none"> <li>Street trees are not required in TC district</li> </ul>	7 canopy trees were shown on Road and Utilities Plans and will be planted in that phase of the development.	Yes	The trees shown as being planted along Adell Drive can be subtracted from the requirements for canopy and subcanopy trees.
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>Label contour lines</li> <li>Maximum 33%</li> <li>Constructed of loam</li> <li>6" top layer of topsoil</li> </ul>	<ul style="list-style-type: none"> <li>No detail is provided.</li> <li>No berms are proposed on these plans or on Roads &amp; Utilities Plan.</li> </ul>	Yes	
Type of Ground Cover		None	No	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	<ul style="list-style-type: none"> <li>A note indicates there are no overhead utility lines on the site.</li> <li>Underground utilities are provided and</li> </ul>	Yes	

Item	Required	Proposed	Meets Code	Comments
		trees are located at least 10 feet from all utility structures and hydrants.		
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>	Yes	Yes	
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	A note indicates that all islands will be sodded.	Yes	
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	<ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ Minimum 200 SF per tree planted in island</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul>	<ul style="list-style-type: none"> <li>▪ Most islands are sufficient in size.</li> <li>▪ The endcap islands on the north side of the building are not dimensioned and their area in SF is not provided.</li> </ul>	TBD	<ol style="list-style-type: none"> <li>1. Please label the sf of the undimensioned endcap islands.</li> <li>2. To count toward the required area, an island must have at least 200sf landscape area per tree planted in it, and be 10 feet wide.</li> </ol>
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Space lengths are 19' and 17'	Yes	
<b>Contiguous space limit (i)</b>	<ul style="list-style-type: none"> <li>• Maximum of 15 contiguous spaces</li> <li>• All endcap islands should also be at least 200sf with 1 tree planted in it.</li> </ul>	Maximum bay is 15 spaces long	Yes	<ol style="list-style-type: none"> <li>1. Both endcap islands at the ends of the bay on the north side of the building need to have 200sf of landscape area.</li> <li>2. If they aren't large enough, please amend those islands to provide at least 200sf landscape area.</li> </ol>
<b>Plantings around Fire Hydrant (d)</b>	No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins)	<ul style="list-style-type: none"> <li>▪ Two hydrants are located on site.</li> <li>▪ At least 10 feet is provided between hydrants and trees.</li> </ul>	Yes	Please shift the tree in the island near the southeast corner of the building to be at least 10 feet from the catch basin as well.
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways	Islands will be sodded	Yes	Please indicate with a note that all other areas

Item	Required	Proposed	Meets Code	Comments
	exceeding 100 sq. ft. shall be landscaped			on site will be seeded (if that is the case).
<b>Clear Zones</b> (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.9	Yes	Yes	
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	A = x SF x 7.5% = A sf A = 50000 * 7.5% = 3750 sf			
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	B = x SF x 1% = B sf B = 30,173 * 1% = 302 sf			
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	A = x SF x 5% = A sf	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	B = (x SF – 50000) x 0.5% = B SF	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands required	3750 + 302 = 4052 SF	4179 SF	Yes	
D = C/200 Number of canopy trees required	4052/200 = 20 Trees	20 trees	Yes	1. Please remove trees from islands where there is insufficient area for 2 trees (each island must have 200sf per tree). 2. Some of the islands used for perimeter trees may need to be used for interior trees.
<b>Perimeter Green space</b>	<ul style="list-style-type: none"> <li>▪ 1 Canopy tree per 35lf;</li> <li>▪ East side: 330LF/35 = 9 trees</li> <li>▪ West side: 370LF/35 = 11 trees</li> <li>▪ No perimeter along the north and south sides are required.</li> </ul>	East side: 14 trees West side: 0 trees	No	1. A landscape waiver is required for the shortage in perimeter trees provided. 2. The layout and the underground detention basin prevent any trees or other woody



Item	Required	Proposed	Meets Code	Comments
				<p>vegetation from being planted along the west side of the site.</p> <p>3. The applicant should propose a line of shrubs that can be placed on top of the detention basin and provide some visual relief from the industrial site to the west, the taller the better.</p>
<b>Accessway perimeter trees</b> <i>(Zoning Sec 5.5.3.C.iv.h.)</i>	<ul style="list-style-type: none"> <li>1 tree per 35lf</li> </ul>	None		Due to the short length of the accessways, no additional perimeter trees are required.
<b>Parking land banked</b>	NA	None		
<b>Other Landscaping</b>				
<b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b> Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Other Screening</b>				
<b>Screening of outdoor storage, loading/unloading</b> <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>	The loading area is located behind the building so no landscaping screening is required.	None		
<b>Transformers/Utility boxes</b> <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> <li>A minimum of 2ft. separation between box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul>	<ul style="list-style-type: none"> <li>No utility boxes shown</li> <li>A note indicating that all utility boxes shall be screened per the provided detail has been added.</li> </ul>	Yes	
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	<ul style="list-style-type: none"> <li>Equals to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft.</li> <li>(584-38) lf x 8ft = 4368 SF</li> </ul>	5251 SF	Yes	
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	<ul style="list-style-type: none"> <li>If visible from public street a minimum of 60% of the exterior</li> </ul>	125/152 (82%) of frontage facing Adell Drive is	Yes	

Item	Required	Proposed	Meets Code	Comments
	building perimeter should be covered in green space	landscaped.		
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements</b> (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> <li>▪ Clusters shall cover 70-75% of the basin rim area</li> <li>▪ 10" to 14" tall grass along sides of basin</li> <li>▪ Refer to wetland for basin mix</li> </ul>	None proposed as there is no on-site detention provided.	Yes	
<b>Phragmites Control</b> (Sec 5.5.6.C)	<ul style="list-style-type: none"> <li>▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey.</li> <li>▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	<ul style="list-style-type: none"> <li>▪ No <i>Phragmites</i> exists on Unit 2.</li> <li>▪ The overall site developer is responsible for the <i>Phragmites</i> on the site.</li> </ul>	Yes	
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 2.I. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> <li>• Provide intended dates</li> <li>• Should be between March 15 and November 15.</li> </ul>	Between Mar – Nov 2019	Yes	
<b>Maintenance &amp; Statement of intent</b> (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> <li>▪ Include statement of intent to install and guarantee all materials for 2 years.</li> <li>▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source</b> (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 2.s.)	A fully automatic irrigation system and a method of draining is required with Final Site Plan	No	No	<ol style="list-style-type: none"> <li>1. Need irrigation plan for final site plan</li> <li>2. If no irrigation system will be provided, information on how plants will receive sufficient water for establishment and long-term survival must be provided.</li> </ol>

Item	Required	Proposed	Meets Code	Comments
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) - Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	No	1. Please use fewer elms to bring percentage of trees used down to more closely meet the diversity requirement of Landscape Design Manual Section 4. 2. 7 of 14 species used (50%) are native to Michigan.
Type and amount of lawn		Sod and seed are indicated on plant list	Yes	
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
<b>Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	1. Please include tree protection fence detail in plan set. 2. Show tree protection fence lines for sidewalk, sitting area and all trees and sitting area plantings installed as part of Roads & Utilities

Item	Required	Proposed	Meets Code	Comments
				construction.
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions (LDM 3.a)</b>	Plant materials shall not be planted within 4 ft. of property line	Note has been added.	Yes	
<b>Plant Materials &amp; Existing Plant Material (LDM 3.b)</b>	Clearly show trees to be removed and trees to be saved.	Street trees and sitting area landscaping are shown as being built during Roads & Utilities construction.	Yes	
<b>Landscape tree credit (LDM3.b.(d))</b>	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
<b>Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)</b>	Refer to Landscape Design Manual for requirements	On plant list	Yes	
<b>Plant size credit (LDM3.c.(2))</b>	NA	No		
<b>Prohibited Plants (LDM 3.d)</b>	No plants on City Invasive Species List	No	TBD	
<b>Recommended trees for planting under overhead utilities (LDM 3.e)</b>	Label the distance from the overhead utilities	No overhead lines will exist on the site. Trees are located away from utility lines and structures.	Yes	
<b>Collected or Transplanted trees (LDM 3.f)</b>		None		
<b>Nonliving Durable Material: Mulch (LDM 4)</b>	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Do not use peat in plant mixes</li> <li>▪ Refer to section for additional information</li> </ul>	On details and in notes	Yes	

Item	Required	Proposed	Meets Code	Comments
<p><b>NOTES:</b></p> <ol style="list-style-type: none"><li data-bbox="120 302 1474 365">1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.</li><li data-bbox="120 365 1435 464">2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.</li><li data-bbox="120 464 1490 527">3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.</li></ol>				

TRAFFIC REVIEW



AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP18-0057 – Planet Fitness Preliminary/Final Site  
Plan Traffic Review

**From:**  
AECOM

**Date:**  
January 14, 2019

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Sri Komaragiri, Lindsay Bell, George Melistas, Darcy  
Rechtien, Hannah Smith, Kate Richardson

# Memo

**Subject:** JSP18-0057 Planet Fitness Preliminary/Final Site Plan Traffic Review

The preliminary and final site plan were reviewed to the level of detail provided and AECOM **recommends preliminary plan approval** and **final plan denial** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, PF Michigan Group, LLC, is proposing a 21,054 FT Planet Fitness building as part of the overall Adell Center multi-use development on Adell Drive.
2. Adell Center Drive is a private roadway.
3. The parcel has been recently rezoned to TC (Town Center District) with a Planned Rezoning Overlay (PRO).
4. Summary of traffic-related waivers/variances:
  - a. There are not any traffic-related waivers or variances required by the applicant at this time.

## TRAFFIC IMPACTS

1. Trip generation estimates were previously provided as part of the Adell Center PRO Concept plan. Because this is a unique land use, additional trip generation information is not available at this time.
2. The number of trips is not expected to exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	N/A

## EXTERNAL SITE ACCESS AND OPERATIONS

*The following comments relate to the external interface between the proposed development and the surrounding roadway(s).*

1. The applicant has indicated the design and dimensions for the driveway from Adell Center Drive between Planet Fitness and Unit 1 as part of the Planet Fitness site plan. Coordination will be required between the site plan design and the Unit 1 site plan design.
2. The applicant should indicate the design and dimensions for the driveway from Adell Center Drive between Planet Fitness and Unit 3, as also shown on the Unit 3 site plan. Coordination will be required between the site plan design and the Unit 3 site plan design.
  - a. Refer to Figure IX.1 in the City's Code of Ordinances for design requirements for the external site driveways.
3. The applicant should provide sight distance measurements at the sight driveway, toward the south direction based on the proposed 25 MPH speed limit. If the sight distance requirements are not met, the applicant may be required to seek a variance.
4. The applicant shall provide a clear vision area for all drive approaches to Adell Center Drive in accordance with Section 216(b).

## INTERNAL SITE OPERATIONS

*The following comments relate to the on-site design and traffic flow operations.*

1. General Traffic Flow
  - a. The applicant has proposed an approximate area of 1,400 SF for loading and unloading. The applicant should refer to Section 5.4.2 of the City's Zoning Ordinance to ensure compliance with City standards.
    - i. The applicant should provide truck travel patterns throughout the site to confirm accessibility to/from the loading zone, as applicable.
  - b. The applicant should confirm that the trash receptacle is accessible by trash collection vehicles via turning movement paths and that its use will not block use of adjacent parking spaces.
  - c. The applicant has generally indicated 24' aisles throughout the site. The applicant could consider reducing all aisle widths to 24' to meet the minimum requirement.
    - i. The applicant should review the 24.5' aisle widths to ensure the 24' from face of curb requirement is met. Refer to Section 5.3.2 of the City's Zoning Ordinance for more information.
  - d. The applicant has included dimensions for the radii and width of the proposed islands throughout the site and is in compliance with City requirements as stated in Section 5.3.12 of the Zoning Ordinance.
    - i. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space. This should be indicated on the plans as it appears that the end island lengths are not in compliance.
  - e. The applicant has include the design of the end islands on the north side of the site and coordination will be required with the Unit 1 site plan.
2. Parking Facilities
  - a. The applicant is proposing 192 parking spaces, including six (6) handicap parking spaces. The City requires one (1) parking space for every 5.5 memberships for health clubs and facilities. The applicant provided estimated membership of 1,000 and should refer to the Planning Review Letter for parking quantity requirements.
    - i. The applicant has generally indicated 19' long parking spaces.
    - ii. The applicant is proposing 17.5' long spaces along the west and east side of the site with four (4) inch curb. The applicant should provide 17' long parking spaces with a clear 2' overhang. Refer to Section 5.3.2 of the City's Zoning Ordinance for more information.
    - iii. The applicant has indicated that one (1) of the accessible spaces is van accessible.



- iv. The accessible parking spaces may be reduced to eight feet in width with a five or eight foot aisle.
- b. The applicant is proposing 10 bicycle parking spaces, which is in compliance with Section 5.16.1 of the City's Zoning Ordinance.
  - i. The applicant should indicate the bicycle parking layout details to ensure compliance with Section 5.16.6 of the City's Zoning Ordinance. Note that a 6 foot accessible route is required from the adjacent street to the bicycle parking facilities.
  - ii. The bike rack detail on sheet 10 indicates a height of 34 inches which is not in compliance with the minimum 3' height requirement in Section 5.16.5.B.
- 3. Sidewalk Requirements
  - a. The applicant is proposing a 7' sidewalk along the north side of the building, adjacent to 17' parking spaces, which is in compliance with City standards.
  - b. The applicant has indicated a width of 7' for the sidewalk on the east side of the building. The curb height for the sidewalk along the east side of the building should be increased to six (6) inches.
  - c. The applicant should label sidewalk ramps on the plans.
  - d. The applicant has included the latest Michigan Department of Transportation (MDOT) sidewalk ramp detail.

## SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
  - a. The applicant has provided a signing quantities table (quantity and proposed size).
  - b. The quantity of "Barrier Free Parking" R7-8 sign should be 6 instead of 5.
  - c. The van accessible space should have a R7-8 sign with a R7-8p (Van Accessible) sign under it instead of the modified R7-8 sign called for on sheet 4 and shown on sheet 10.
  - d. The applicant should label all of the "No Parking Fire Lane" signs on sheet 4.
2. The applicant should indicate the proposed signing on site and provide notes and details related to the proposed signing.
  - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
  - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
  - c. The applicant should indicate that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
  - d. Traffic control signs shall use the FHWA Standard Alphabet series.
  - e. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
3. The applicant has indicated that parking stall pavement markings shall be four (4) inch white stripes.
4. The applicant shall include parking space striping notes to indicate that:
  - a. The accessible parking space and associated aisle should be striped with four (4) inch blue stripes.
  - b. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
5. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.
6. The applicant could include crosswalk pavement markings from the entrance of the building to the sidewalk connection to Adell Center Drive.
  - a. The applicant should provide a detail for any proposed crosswalk pavement markings.
7. The applicant shall remove the reference to painted islands on General Note 5 on sheet 4 as there are no painted islands proposed.

Memo

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Patricia Thompson, EIT  
Traffic Engineer



Paula K. Johnson, PE  
Senior Traffic Engineer

FAÇADE REVIEW



January 12, 2019

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375- 3024

*Façade Review Status Summary:*  
**Approved, Section 9 Waiver Not Required**

Re: **FACADE ORDINANCE REVIEW Preliminary Site Plan**  
**Planet Fitness at Adell Center, JSP18-57**  
 Façade Region: 1, Zoning District: EXPO

Dear Ms. McBeth;

The following is the Façade Review for the above referenced project based on the drawings prepared by Robert H Lyon & Associates Architects, dated 10/26/18. The percentages of materials proposed for each façade are as shown on the table below. The maximum and minimum percentages required by Ordinance Section 5.15 are shown in the right hand column. Materials that are in noncompliance with the Ordinance, if any, are identified in bold.

	East (Front)	South	West	North	Ordinance Maximum (Minimum)
Brick	49%	76%	75%	75%	100% (30% Minimum)
EIFS	16%	3%	3%	3%	25%
Stone	19%	14%	13%	14%	50%
Cornice (EIFS)	16%	7%	9%	8%	15%

**Recommendation** – As shown above, all proposed materials for the building are in full compliance with the Façade Ordinance. The dumpster detail on sheet 10 indicates “architectural masonry to match split faced block proposed for building”. Given that there is no split faced block proposed on the building, the dumpster detail should be revised to indicate “brick, to match the building.” The sample board indicates carefully coordinated colors in compliance with the Ordinance. However, the applicant should clarify the size format of item No. 4; Stone. In order to qualify as “Stone” this material would have to be 16” high X 24” wide format (the elevations appear to indicate 8” H x 16” W).

**Notes to the Applicant:**

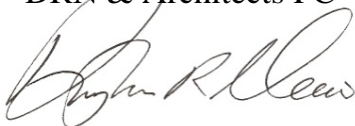
1. It should be noted that all roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Ordinance.

2. It should be noted that all proposed signs are not regulated by the Façade Ordinance and must comply with the City's Sign Ordinance.

4. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,  
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over a faint, larger version of the same signature.

Douglas R. Necci, AIA

## FIRE REVIEW



December 21, 2018

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Lindsay Bell-Plan Review Center  
Hannah Smith-Planning Assistant

RE: Planet Fitness

**PSP# 18-0199**

**Project Description:**

Build a 21,054 S.Q. F.T. fitness center off of Adell Center Dr.  
43700 Expo Center Drive.

**Comments:**

- **All** fire hydrants **MUST** in installed and operational prior to any building construction begins.
- **MUST** add a fire hydrant to the north side of the building. Fire Hydrant spacing is <300' form fire hydrant to fire hydrant (**NOT** as the crow flies). **City of Novi Ordinance 11-68(F)(1)c.**
- Turning radius doesn't meet city standards, from common access drive to the north in parking lot in both rows, also from the emergency access drive turning towards the building X4 aisles ways and from the west side of structure turning to the east next to the building. **Fire lane roadway access must conform to 50' outside swing and 30' inside swing.**
- **Corrected 12/21/18 (however see note below)** - On floor plan **MUST** relocate the **FDC** to the east side of the structure (street side).
- **Landscape prints show new landscaping that is blocking FDC location. Must allow for 3' of "unobstructed access" at all times.**
- All roads and access drives **MUST** be built to support 35 ton. **City of Novi Ordinance 15-17 503.**

**Recommendation:**

NOT Approved at this time, until above items can be corrected.

Sincerely,

Andrew Copeland – Acting Fire Marshal  
City of Novi Fire Department

APPLICANT RESPONSE LETTER



January 18, 2019 (Revision 1)

Ms. Sri Ravali Komaragiri  
Planner  
City of Novi  
Planning Department  
45175 10 Mile Road  
Novi, Michigan 48375

Re: **PLANET FITNESS**  
**Planning Review**  
Project #JSP 18-57  
Greentech Job No. #17-334.2

Ms. Komaragiri and consultants,

The following is our response to the Planning Review, dated January 16th, 2019, relating to the above referenced project:

**Planning Review Comments:**

1. Additional Deviations:
  - a. Deviation will be requested as required. A hedgerow will be proposed along the west parking lot edge for year-round screening.
  - b. See attached "Circulation Plan" for reference on truck accessibility to the loading zone.
2. Lighting and Photometric Plan:
  - a. Noted.
  - b. Spillover will be justified or reduced as requested.
3. Adell Center Drive will be installed/paved prior to completion of the Planet Fitness construction. The secondary emergency access drive will be paved by either unit 1 or unit 2, whichever completes site construction first. The drive between unit 2 and 3 will paved in a similar manner, by either unit 2 or unit 3 whichever completes site construction first. The owner of Planet Fitness is working with Unit 1 and 3 individually for a cost sharing agreement.
4. See attached "Circulation Plan" for reference on truck accessibility to the loading zone and dumpster.
5. See comments below regarding how façade review concerns have been addressed.

6. Items shown in the Roads and Utilities package will be completed by the Orville Properties, including the “pocket park”. This generally includes work between the sidewalks along the drive. Planet Fitness is responsible for work behind the sidewalk. Work along Adell Center drive will be completed prior to or adjacent with Planet Fitness construction.
7. Brick wall will be provided as required.
8. See attached revised “Site Plan” sheet 4 and additional “Circulation Plan” sheet 11 for reference on firetruck accessibility. Radii have been increased to 30’ in fire truck lanes with the exception of the one end island on the north that abuts the secondary emergency access drive. At this point, the isle width is 26’ and secondary emergency access drive is greater than 30’ width providing an abundance of area for maneuverability. There is still a 30’ inside swing radius as shown on the “Circulation Plan”.
9. Noted.
10. See below for responses to review chart comments.

**Planning Review Chart:** (addressing applicable comments in bold)

- Lot coverage will be included on the site plan.
- Maximum building height will be included on the site plan
- Additional dimensions for proposed setbacks will be added on the “Site Plan”, sheet 4. Accepted setbacks are shown per 3.27.1.C setback waiver in approved PRO Plans.
- Dimension will be added to show the distance from side lot line to the building for both the south and east sides.
- Parking setback line as shown is from the edge of the 70’ access easement, not the sidewalk.
- See comments below regarding how landscape review concerns have been addressed.
- See comments above regarding how setback comments have been addressed.
- Brick wall will be provided as required.
- See comments below regarding how façade review concerns have been addressed.
- Noted, a parking lot reduction is not requested at this time.
- Noted, additional amenities can be provided for added value.
- See comments below regarding how traffic review concerns have been addressed.
- Bike parking layout will be updated on sheet 10.
- Noted, reduction of loading zone area can be approved by the planning commission.
- See comments below regarding how landscape review concerns have been addressed.
- See attached “Circulation Plan” for reference on truck accessibility to the dumpster.
- Dumpster detail will be revised to indicate “brick to match the building”.

- Building lighting will be provided as requested.
- Luminaires cut sheets will be provided as requested.
- Maximum height of lighting fixtures will be provided as requested.
- Hours of operation will be provided as requested.
- Maximum height of light poles will be provided as requested.
- Lighting notes will be provided as requested.
- Planet Fitness is open 24 hours a day.
- Photometric plan will be revised to meet the minimum 0.4 min in loading and unloading areas – currently proposed 0.2 min.
- See comments below regarding how façade review concerns have been addressed.
- A 6' wide sidewalk for pedestrian and bike access is provided from sidewalk adjacent to the main entrance to the pocket park along Adell Center Drive.
- Master deed exhibit will be revised.
- See below for comments regarding all other reviews.
- Sign deviation will be requested in the PRO amendment.
- Address application will be submitted after Final Site Plan approval.
- Easement will be adjusted as required.

**Engineering Review:** (dated 1-16-2019)

Kate Richardson, EIT, City of Novi

**GENERAL COMMENTS**

1. Noted.
2. Noted.
3. Non-Domestic User Survey has been submitted for review.
4. CSB will be shown on profiles for areas under influence of pavement. CSB note will be added.
5. All utilities are shown on the landscape plan.
6. Light poles will be located outside utility easements.

**WATER MAIN**

7. Profile for 8" water main will be provided.
8. Water main lengths and materials are provided on sheet 7.
9. 20-ft public water main easement indicated on plans.
10. Fire service lead will be its own item on quantities table.
11. Signed and sealed plans to be provided along with the MDEQ permit

**SANITARY SEWER**

12. Will provide note as requested.
13. Will provide note as requested.

**STORM SEWER**

14. Noted.
15. A 4' sump will be provided at last structure before the outlet into the existing detention.

16. Will be provided as requested.
17. Downspout locations and connections will be coordinated as requested.
18. 2 ft inlets need to be changed to 4 ft catch basins because there is not a 4ft catch basin within 50 ft.

#### STORM WATER MANAGEMENT PLAN

19. Refer to Adell Center Roads and Utilities design for storm detention design.
20. Refer to Adell Center Roads and Utilities design for storm detention design.
21. Will provide pretreatment structure detail as requested.
22. Refer to Adell Center Roads and Utilities design for storm detention design and soil boring data.

#### PAVING & GRADING

23. Will provide additional grades as requested. 5% slope will not be provided where it negatively impacts sidewalk grades to be more than 2% cross slope.
24. Will provide line designation as requested.
25. Detectable warning plates will be provided as required.
26. Ramps types will be labeled as requested.
27. Integral walk height will be 6 inches.
28. Note will be added as requested.

#### SOIL EROSION AND SEDIMENT CONTROL

29. Comments received for the soil erosion permit and plans will be adjusted as requested.

#### OFF-SITE EASEMENTS

30. Off-site utility easements will be executed prior to construction stamp set approval.

#### AT THE TIME OF REVISED FINAL SITE PLAN SUBMITTAL

31. Noted.
32. Noted.

#### AT THE TIME OF STAMPING SET SUBMITTAL

33. Noted.
34. Noted.
35. Noted.
36. Noted.
37. Noted.
38. Noted.

#### PRIOR TO CONSTRUCTION

39. Noted.
40. Noted.
41. Noted.
42. Noted.

- 43. Noted.
- 44. Noted.
- 45. Noted.

**Landscaping Review** (dated 12-12-2018)  
Rick Meader, City of Novi

See letter from Jim Allen dated January 17, 2019 for Landscape Review comments responses.

**Traffic Review** (dated 1-14-2019)  
Patricia Thompson, E.I.T., AECOM

**GENERAL COMMENTS**

- 1. Noted.
- 2. Noted.
- 3. Noted.
- 4. Noted.

**TRAFFIC IMPACTS**

- 1. Noted.
- 2. Noted.

**EXTERNAL SITE ACCESS AND OPERATIONS**

- 1. Layouts have been exchanged and coordinated with unit 1.
- 2. Layouts have been exchanged and coordinated with unit 3. Noted for design requirements for external drives.
- 3. Sight distance measurements will be provided.
- 4. Clear vision area will be provided.

**INTERNAL SITE OPERATIONS**

- 1. General Traffic Flow
  - a. See attached "Circulation Plan" for reference on truck accessibility to the loading zone and the dumpster. Fire lane circulation is shown for fire lanes.
  - b. See attached "Circulation Plan" for reference on truck accessibility to the dumpster
  - c. Noted, layout adjustment for island requirements will be provided and isle widths adjustments will be considered in layout adjustments.
  - d. Additional dimensions will be provided as requested.
  - e. Layouts have been exchanged and coordinated with unit 1.
- 2. Parking Facilities
  - a. Noted.
    - i. Noted.

- ii. Will adjust as requested.
    - iii. Noted.
    - iv. Will adjust spacing to improve fire truck circulation, increase island square footage for landscaping, and reduce pavement.
  - b. Noted.
    - i. Detail will be adjusted as required.
    - ii. Detail will be adjusted as required.
3. Sidewalk Requirements
  - a. Noted.
  - b. Will adjust as requested.
  - c. Sidewalk ramps will be labeled as requested.
  - d. Noted.

## SIGNING AND STRIPING

1. Noted.
  - a. Noted.
  - b. Will adjust as requested.
  - c. Will adjust as requested.
  - d. Will label as requested.
2. Signing Details
  - a. Will comply.
  - b. Will comply.
  - c. Will comply.
  - d. Will comply.
  - e. Will comply.
3. Noted.
4. Parking striping notes
  - a. Will comply.
  - b. Will comply.
5. Will comply.
6. Will comply.
  - a. Will provide detail.
7. Will revise as requested.

## **Façade Ordinance Review** (dated 1-12-2019)

Douglas R. Necci, AIA, DRN & Architects PC

- David Heidtke of RGLA Solutions, Inc. has had discussions with the City of Novi planning and Douglas R. Necci that have agreed to using 12" x 24" "stone as shown.
  - Dumpster note will be adjusted as requested.
1. Noted.
  2. Noted.
  4. Noted.

**Fire Department Review** (dated 12-21-2018)

Andrew Copeland, City of Novi

- Noted.
- Hydrant distance (from hydrant to hydrant, not as a crow flies) were added to the “Circulation Plan” for clarification that distances from hydrant to hydrant along accessible paths are less than 300’. There are (6) hydrants that provide coverage for Planet Fitness. One each on the northwest, southwest, and south east corners of the building. There are (3) more hydrants along the north and northwest at the secondary emergency access drive and Adell Center Drive. In addition, the building is fully fire suppressed which would increase hydrant spacing distance to 500’.
- See attached revised “Site Plan” sheet 4 and additional “Circulation Plan” sheet 11 for reference on firetruck accessibility. Radii have been increased to 30’ in fire truck lanes with the exception of the one end island on the north that abuts the secondary emergency access drive (to the north). At this point, the isle width is 26’ and secondary emergency access drive is greater than 30’ width providing an abundance of area for maneuverability. There is still a 30’ inside swing radius as shown on the “Circulation Plan”.
- FDC is located on the southeast corner of the building.
- Landscaping will be adjusted to allow for 3’ wide unobstructed access (at all times).
- Noted.

Please feel free to contact our office with any questions or concerns, regarding the Roads and Utilities plans and response letter.

Sincerely,

A handwritten signature in black ink that reads "Jason Fleis". The signature is written in a cursive style with a large initial "J" and "F".

Jason Fleis, P.E.  
GreenTech Engineering, Inc.

**Attachments:**

- “Site Plan” sheet 4 (adjusted from original submittal)
- “Circulation Plan” sheet 11 (in addition to original submittal)
- Jim Allen letter dated January 17, 2019



**BENCHMARKS:**

CITY OF NOV BM 1542  
 3" ON NORTH RM OF SANITARY MANHOLE,  
 25' S WEST OF BACK OF CURB NOV ROAD  
 & 45' S SOUTH OF DRIVE #26179 NOV ROAD  
 ELEVATION: 915.10 N.A.V.D.±88

BM#1  
 ARROW ON HYDRANT, SOUTH SIDE OF  
 CRESCENT BOULEVARD, 24' EAST OF  
 SOUTHWEST PROPERTY CORNER  
 ELEVATION: 915.58 (N.A.V.D.±88 DATUM)

**UNIT DEVELOPMENT NOTE:**

INDIVIDUAL UNIT DEVELOPMENT PLANS ARE A  
 CONTINUATION OF THE WORK COMPLETED IN  
 THE PREVIOUS SITE DEVELOPMENT PHASES.  
 INDIVIDUAL UNIT SITES SHALL VERIFY EXTENT  
 OF SOIL EROSION AND SEDIMENTATION  
 CONTROL MEASURES, GRADING AND DRAINAGE,  
 AND UTILITIES PRIOR TO THE START OF  
 CONSTRUCTION.

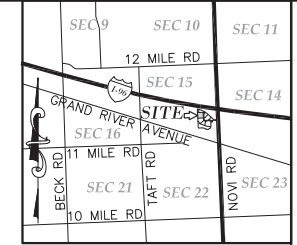
**COORDINATION NOTE:**

DEVELOPMENT FOR THE UNIT 2 CURB AND  
 PAVING LIMITS IS COORDINATED WITH  
 ADJACENT UNITS 1, UNIT 3, AND ADELL  
 CENTER ROADS & UTILITIES.

**\*CONSTRUCTION MATERIALS:**

PHASE I:	QUANTITY
4" CURB & GUTTER - 3500 PSI CONCRETE	506 LF
6" CURB & GUTTER - 3500 PSI CONCRETE	1,926 LF
CONCRETE PAVEMENT - 3500 PSI CONCRETE	3,113 SF
ASPHALT PAVEMENT - 2" DEPTH HMA 5E 1 (SURFACE)	76,458 SF
ASPHALT PAVEMENT - 2.5" DEPTH HMA 3C (LEVELING)	76,458 SF
8" 21AA AGGREGATE BASE	3,806 TONS

\* CONTRACTOR TO EVALUATE AND DETERMINE QUANTITIES, ONLY USE ABOVE TABLE AS REFERENCE



**GREENTECH**  
 ENGINEERING, INC.  
 CIVIL ENGINEERS & LAND SURVEYORS

RESIDENTIAL  
 COMMERCIAL  
 INDUSTRIAL  
 TRANSPORTATION  
 UTILITIES

51147 N. Pontiac Trail, Wixom, MI 48393  
 Telephone: 248-868-0700  
 Fax: 248-868-0701

**LEGEND**

FIB	FOUND IRON BAR	—	SANITARY SEWER
FCI	FOUND CAPPED IRON	—	STORM SEWER
EX	UTILITY POLE	—	WATER MAIN
EX	LIQUIDFIRE	—	GAS MAIN
EX	GATE VALVE	—	OVERHEAD LINES
EX	CATCH BASIN	—	FENCE LINE
EX	AIR CONDITIONER	—	RIGHT OF WAY
EX	FEDESTAL	—	ZONING LIMITS
EX	HYDRANT	—	PROPERTY BOUNDARY
EX	SIGN	—	RETAINING WALL
EX	CLEANOUT	—	TREE LINE
EX	WATER SHUT-OFF	—	CONTOUR 1 FT. INCR.
EX	SANITARY MANHOLE	—	CONTOUR 5 FT. INCR.
EX	CATCH BASIN	—	CURB & GUTTER
EX	STORM END SECTION	—	SPILLOUT CURB & GUTTER
EX	STORM MANHOLE	—	WETLAND BOUNDARY
EX	ELECTRIC METER	—	WETLAND BUFFER
EX	OVERHEAD LINES	—	FLOODPLAIN
EX	FENCE	—	EASEMENT
EX	TREELINE (TAG NO.)	—	PROPOSED CONCRETE PAVEMENT
EX	BOULDER	—	PROPOSED ASPHALT PAVEMENT
EX	BOLLARD	—	PROPOSED ASPHALT PAVEMENT
EX	POST	—	PROPOSED ASPHALT PAVEMENT
EX	ELECTRIC TRANSFORMER	—	PROPOSED ASPHALT PAVEMENT
EX	SOL BORING	—	PROPOSED ASPHALT PAVEMENT

**GENERAL NOTES:**

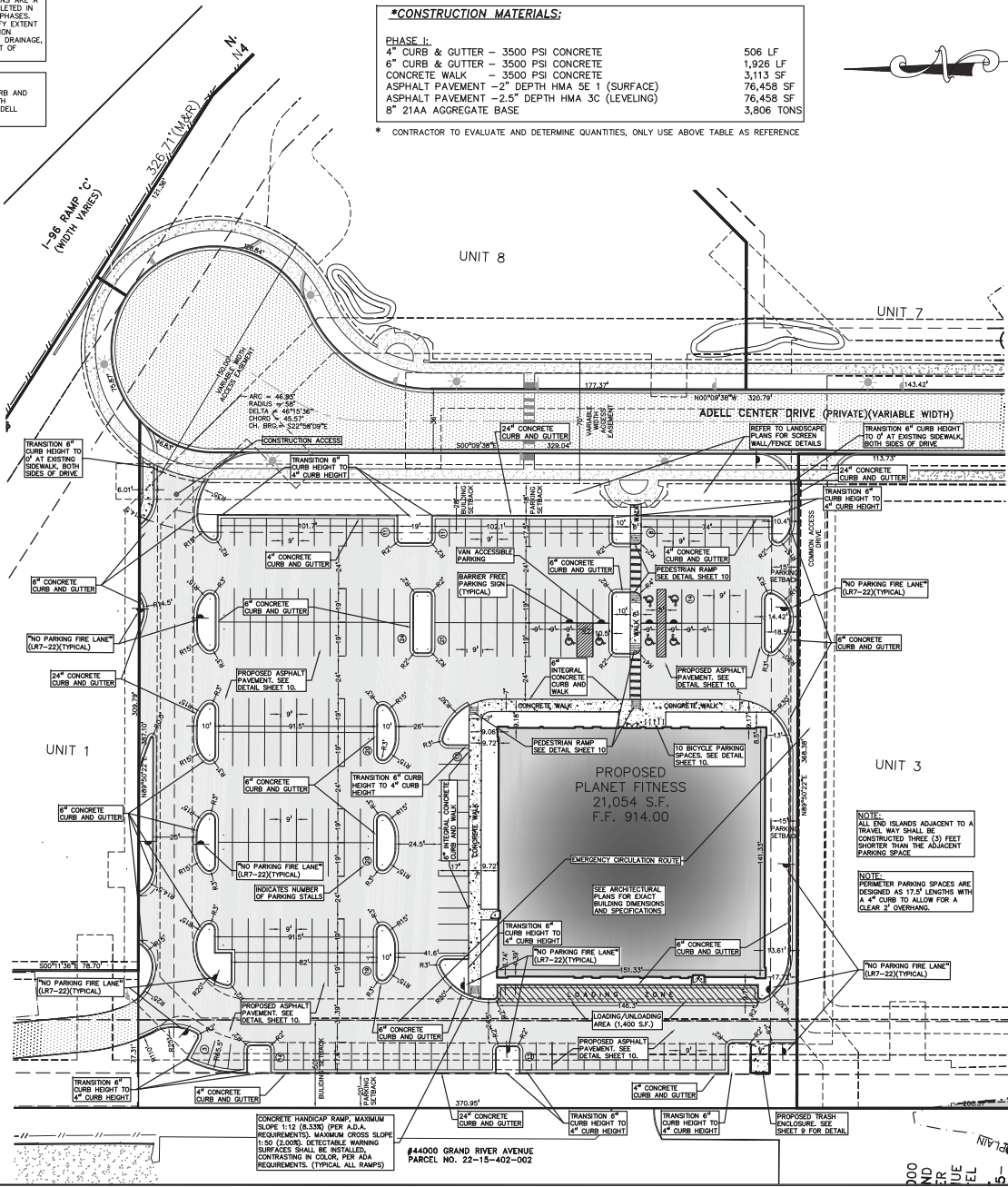
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - REFER TO CITY OF NOV PAVING STANDARD DETAILS FOR ADDITIONAL DETAILS.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOV CURRENT STANDARDS AND SPECIFICATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ALL ON-SITE STORAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH MMUTCD. PARKING STALL STRIPING SHALL BE 4" WIDE (SINGLE) AND WHITE.
  - THE ACCESSIBLE PARKING SPACE AND ASSOCIATED AISLE SHALL BE STRIPED WITH 4" BLUE STRIPES. THE STANDARD SPACE ADJACENT TO AN ACCESSIBLE SPACE, MARKING BLUE AND WHITE STRIPES SHALL BE INSTALLED.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRIPES (MANHOLES, CATCH BASINS, RAILETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

**NOTE:**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

**NOTE:**

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OR PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



**SIGNAGE QUANTITIES**

NO PARKING-FIRE LANE (LR7-22)	12 EACH
BARRIER FREE PARKING (R7-8)	6 EACH
VAN ACCESSIBLE PARKING (R7-8p)	1 EACH

ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH CURRENT MMUTCD STANDARDS AND SPECIFICATIONS

**CURRENT ZONING:**

TOWN CENTER WITH PLANNED REZONING OVERLAY

**BUILDING SETBACKS:**

PERMETER: 50 FEET  
 ADELL DRIVE: 30 FEET  
 INTERIOR SIDE: 0 FEET  
 INTERIOR REAR: 15 FEET  
 PER 3.27.1.C SETBACK WAIVER IN PRO APPROVAL

**PARKING SETBACKS:**

PERMETER: 20 FEET  
 ADELL DRIVE: 18 FEET  
 INTERIOR SIDE: 0 FEET (UNIT 2: 15 FEET ALONG SOUTHERLY PROPERTY LINE)  
 INTERIOR REAR: 0 FEET  
 PER 3.27.1.C SETBACK WAIVER IN PRO APPROVAL

**SITE AREA:**

TOTAL ACRES: 3.15 ACRES

**PARKING DATA:**

PROPOSED PARKING: ONE (1) SPACE FOR EACH 5.5 MEMBERSHIPS (FAMILY OR INDIVIDUAL) REQUIRED:  
 ESTIMATED MEMBERSHIPS = 1000 MEMBERSHIPS  
 NUMBER OF EMPLOYEES = 10 EMPLOYEES  
 1 SPACE x 1000 MEMBERSHIPS/5.5 = 182 SPACES REQUIRED  
 TOTAL PARKING REQUIRED: 182 SPACES, 8 BARRIER-FREE  
 TOTAL PARKING PROVIDED: 191 SPACES, 8 BARRIER-FREE

**BICYCLE PARKING DATA:**

PROPOSED PARKING: 5% OF REQUIRED AVERAGE PARKING SPACES REQUIRED:  
 182 SPACES x 5% = 9.1 = 9 SPACES REQUIRED  
 TOTAL PARKING PROVIDED: 10 SPACES

**LOADING ZONE DATA:**

PROPOSED LOADING: LENGTH OF BUILDING FRONTAGE x 10  
 151.33' x 10 = 1513 SF REQUIRED  
 LOADING AREA PROVIDED: 1400 SF

**811**  
 Know what's below  
 Call before you dig.

**PLANET FITNESS**  
**SITE PLAN**

UNIT 2 ADELL CENTER DRIVE - PARCEL NO. 22-15-478-002  
 TOWNSHIP 15 N., RANGE 36 E., SECTION 15  
 CITY OF NOV, MICHIGAN

CLIENT: \_\_\_\_\_  
 REVISION: 2019-1-18 PER REVIEW

DATE: 12-19-2018  
 DRAWN BY: RMS/MW  
 CHECKED BY: DJL/AMF

SCALE: 1" = 30 FT.  
 SHEET NO. 1 OF 1

4

**BENCHMARKS:**

CITY OF NOVI BM 1542  
 1" ON NORTH RM OF SANITARY MANHOLE,  
 25' WEST OF BACK OF CURB NOVI ROAD  
 & 45' SOUTH OF DRIVE #26179 NOVI ROAD  
 ELEVATION: 915.10 (N.A.V.D.88)

BM#1  
 ARROW ON HYDRANT, SOUTH SIDE OF  
 CRESCENT BOULEVARD, 24' EAST OF  
 SOUTHEAST PROPERTY CORNER  
 ELEVATION: 915.58 (N.A.V.D.88 DATUM)

**UNIT DEVELOPMENT NOTE:**

INDIVIDUAL UNIT DEVELOPMENT PLANS ARE A  
 CONTINUATION OF THE WORK COMPLETED IN  
 THE PREVIOUS SITE DEVELOPMENT PHASES.  
 INDIVIDUAL UNIT SITES SHALL VERIFY EXTENT  
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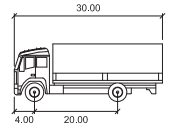
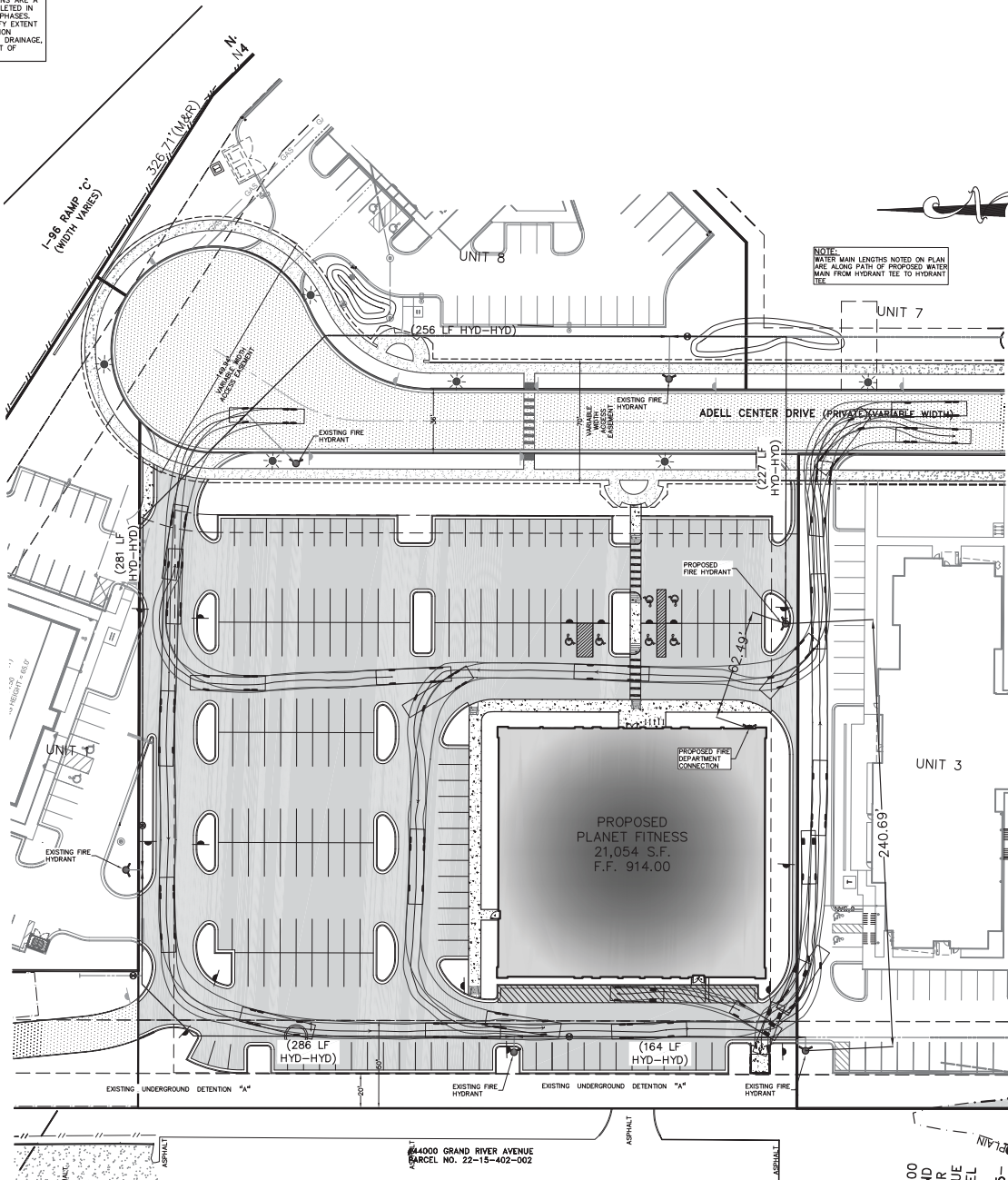
**LEGEND**

- FIB FOUND IRON BAR
- FCI FOUND CAPPED IRON
- EX. UTILITY POLE
- EX. LIKTRPOLE
- EX. GATE VALVE
- EX. CATCH BASIN
- EX. AIR CONDITIONER
- EX. PEDESTAL
- EX. HYDRANT
- EX. SIGN
- EX. CLEANOUT
- EX. WATER SHUT-OFF
- EX. SANITARY MANHOLE
- EX. CATCH BASIN
- EX. STORM END SECTION
- EX. STORM MANHOLE
- EX. ELECTRIC METER
- EX. OVERHEAD LINES
- EX. FENCE
- EX. TREELINE
- EX. TREE (TAG NO.)
- EX. BOULDER
- EX. BOLLARD
- EX. POST
- EX. ELECTRIC TRANSFORMER
- SOL BORING

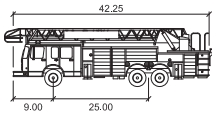
- UNDERDRAN
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- OVERHEAD LINES
- FENCE LINE
- RIGHT OF WAY
- ZONING LIMITS
- PROPERTY BOUNDARY
- RETAINING WALL
- TREE LINE
- CONTOUR 1 FT. INCR.
- CONTOUR 5 FT. INCR.
- CURB & GUTTER
- SPILLOUT CURB & GUTTER
- WETLAND BOUNDARY
- WETLAND BUFFER
- FLOODPLAIN
- EASEMENT

**PAVEMENT LEGEND**

- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT



**GARBAGE TRUCK**<sub>ft</sub>  
 Width : 8.00  
 Track : 8.00  
 Lock to Lock Time : 6.00  
 Steering Angle : 30.00



**NOVI FIRE TRUCK**<sub>ft</sub>  
 Width : 8.20  
 Track : 8.50  
 Lock to Lock Time : 6.00  
 Steering Angle : 36.10

TRUCK SPECIFICATIONS FOR A 2001 AMERICAN LAFRANCE AH100.  
 TURNING RADIUS: 50' OUTSIDE AND 30' INSIDE

**NOTE:**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

**NOTE:**  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**GREENTECH ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 51147 N. Pontiac Trail, Wixom, MI 48393  
 Phone: (248) 868-0700 Fax: (248) 668-0701

**811**  
 Know what's below  
 Call before you dig.

CLIENT: PLANET FITNESS  
**CIRCULATION PLAN**  
 UNIT 2 ADELL CENTER DRIVE - PARCEL NO. 22-15-478-002  
 TOWNSHIP, MI RANGE: BE  
 CITY OF NOVI SECTION: 15  
 OAKLAND COUNTY MICHIGAN

REVISED  
 2019-1-18 PER REVIEW

DATE: 12-19-2018  
 DRAWN BY: RMS/MW  
 CHECKED BY: DJL/AMF

SCALE: HOR 1"=30 FT  
 VER 1"=10 FT

January 17, 2019

Mr. Rick Meader, Landscape Architect  
**City of Novi Community Development**  
45175 West 10 Mile  
Novi, MI 48375

**RE: Planet Fitness**

Dear Mr. Meader:

Below are our landscape review responses to your review dated December 21, 2018:

Landscape Comments:

- Tree fencing will be added to project the landscaping associated with Adell Drive.
- A wall is shown across the Planet Fitness frontage. A note will be added stating Planet Fitness is responsible for the wall construction.
- The access easement line will be shown as well as a dimension from the back of curb to the easement line.
- A clear view to the building address will be provided.
- Trees will be moved out of islands less than 200 s.f. The endcap islands north of the building will be enlarged to 200 s.f. and each will be planted with a tree.
- A hedgerow will be planted along the west parking lot edge to provide year round screening.
- Plant species will be adjusted to meet the diversity standards.
- Lighting will be shown on future plans.
- Seed and sod limits will be shown.
- An Irrigation plan will be provided for final site plan.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen  
**Allen Design L.L.C.**