

Jeff Heyn Multi-Tenant JSP13-62

Jeff Heyn Multi-Tenant, JSP13-62

Consideration of the request of GRB Novi LLC for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located in Section 16, at 46035 Grand River Avenue, east of Beck Road in the I-1, Light Industrial District. The subject property is 7.7 acres and the applicant is proposing to demolish a portion of the existing building, update the building façade, install additional parking and provide area for landbanked parking.

REQUIRED ACTION

Approval/denial of the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	11/01/13	<ul style="list-style-type: none"> • Planning Commission finding regarding front yard parking required • Planning Commission finding regarding landbanked parking required • ZBA variance for deficient front yard parking setback required • Items to address on the Final Site Plan
Engineering	Approval recommended	11/01/13	Items to address on the Final Site Plan submittal
Traffic	Approval recommended	10/25/13	Items to address on the Final Site Plan submittal
Landscaping	Approval recommended	10/29/13	Items to address on the Final Site Plan submittal
Wetlands	Approval recommended	09/26/13	No additional items to address
Woodlands	Approval recommended	09/26/13	Items to address in the Final Site Plan submittal
Façade	Approval recommended	10/31/13	Section 9 waiver recommended for the underage of natural clay brick and the overages of thin brick, plain CMU and ribbed metal
Fire	Approval recommended	10/28/13	No additional items to address

Motion sheet

Approval – Preliminary Site Plan

In the matter of Jeff Heyn Multi-Tenant, JSP13-62, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Planning Commission finding that the proposed front yard parking is compatible with the surrounding development;
- b. With regard to the proposed landbanked parking, Planning Commission finding that:
 1. The applicant has demonstrated through substantial evidence that the specified occupant and building use will require less parking than what is required by the Zoning Ordinance;
 2. Parking will not occur on any street or driveway;
 3. Parking will not occur on any area not approved and developed for parking;
 4. Parking will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking;
 5. The requested parking landbanking will not create traffic or circulation problems on or off site; and
 6. The requested parking landbanking will be consistent with the public health, safety and welfare of the City and the purposes of the Zoning Ordinance;
- c. Applicant receiving a variance from the Zoning Board of Appeals for the deficient front yard parking setback (40 ft. required, 26 ft. provided);
- d. Section 9 façade waiver for the underage of natural clay brick and the overages of thin brick, plain concrete masonry units (CMU) and ribbed metal on the basis that the proposed alteration:
 1. Represents an improvement in the existing façade that will increase compatibility of the existing façade with adjacent buildings, and
 2. Is generally in keeping with the intent and purpose of Section 2520.
- e. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- f. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-AND-

Approval – Stormwater Management Plan

In the matter of Jeff Heyn Multi-Tenant, JSP13-62, motion to **approve** the Stormwater Management Plan, subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-OR-

Denial

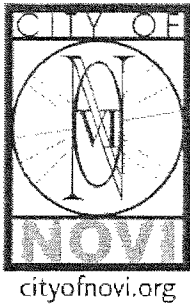
In the matter of Jeff Heyn Multi-Tenant, JSP13-62 motion to **deny** the Preliminary Site Plan, for the following reasons...(because the plan is not in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance.)

-AND-

Denial Stormwater Management Plan

In the matter of Jeff Heyn Multi-Tenant, JSP13-62, motion to **deny** the Stormwater Management Plan, for the following reasons...(because the plan is not in compliance with Chapter 11 of the Ordinance.)

Planning Review



PLAN REVIEW CENTER REPORT

November 1, 2013

Planning Review

Jeff Heyn Multi-Tenant

JSP# 13-62

Petitioner

GRB Novi LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: 46035 Grand River, east of Beck Road (Section 16)
- Site School District: Novi Community School District
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North: Grand River Ave., OST, EXO ; East and West: I-1; South: RA, OST
- Site Use(s): Total Sports Roller Hockey, Crossfit Gym and vacant building space
- Adjoining Uses: North: Grand River Ave., Suburban Collection Showplace, Wilkins Parts and Equipment; East: Existing house; West: Vacant; South: Existing single-family homes
- Site Size: 7.7 acres
- Plan Date: 10-16-13

Project Summary

The applicant is proposing to demolish a portion of the existing building at 46035 Grand River Avenue. The building façade would also be updated. The building is part of an existing three building site and the structure to be updated is located at the northwest corner of the site. The applicant is also proposing to expand the parking area along the north, west and south yards of the new building footprint. Updated landscaping is also proposed.

Twenty-four additional spaces along the east side of the new building footprint are proposed to be landbanked parking to be installed if the use of the site necessitates additional parking.

Recommendation

Approval of the *Revised Preliminary Site Plan is recommended*. There are planning related items that need to be addressed at the time of Final Site Plan submittal. Planning Commission approval of the Preliminary Site Plan and landbanked parking is required.

The City will update and the applicant will be required to sign the previously executed acknowledgement regarding on-site parking and the existing Shared Parking Study.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1, Light Industrial), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any

other applicable provisions of the Zoning Ordinance. Items to be addressed by the applicant or Planning Commission are shown in **bold** text.

1. Parking in the Front Yard: **A Planning Commission finding that the proposed front yard parking is compatible with the surrounding developments is required.** Front yard parking in the I-1 District requires the parking not occupy more than 50% of the area between the minimum front yard setback and actual building setback. The plan meets this requirement. Additionally, the front yard parking must be screened by a brick wall or landscaped berm. A berm has been proposed along Grand River Avenue. Additionally, the parking must be setback the same as the required building setback, 40 feet in this case. The proposed front parking is setback 26 feet from Grand River Avenue. **The applicant will need to seek a Zoning Board of Appeals variance for the deficient parking setback.**
2. Landbanked Parking Spaces: The applicant has elected to landbank 24 parking spaces on the east side of the building. Landbanked parking for up to 25% of the required parking is permitted provided the applicant can demonstrate the number of parking spaces required is in excess of the spaces needed for the 'functional use' of the building. Several conditions apply:
 - a. The minimum number of spaces required for the site shall be 45 prior to the landbank request. The minimum number of spaces required for this site is 130.
 - b. A plan showing the parking to be constructed and landbanked must be submitted showing compliance with ordinance standards if the parking were to be constructed and all landbanked areas must be kept as landscaped open space.
 - c. The Planning Commission may attach conditions to the approval that will serve to meet the objectives and intent of the Ordinance. The Planning Commission shall make a finding that the plan meets the following standards:
 - i. The applicant has demonstrated through substantial evidence that the specified occupant or building use would require less parking than what would typically be required;
 - ii. Parking will not occur on any street or driveway;
 - iii. Parking will not occur on any area not approved and developed for parking;
 - iv. Parking will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking;
 - v. The required parking landbanking shall not create traffic or circulation problems on or off site;
 - vi. The requested parking landbanking shall be consistent with the public health, safety and welfare of the City and the purposes of the Zoning Ordinance.
 - d. The owner of the property must report any change in use to the Building Official who may require the additional spaces to be constructed.
3. Photometric Plan: There are several deficient and missing items on the site lighting plan. **The applicant should refer the lighting review chart and make the appropriate corrections and additions for the Final Site Plan submittal.**
4. Warehouse Use: The applicant has indicated a general warehouse use for the building. A warehouse adjacent to residential zoning is a Special Land Use in the I-1 District and requires the approval of a Special Land Use Permit from the Planning Commission. Once a tenant is identified and more details on the exact use of the building and the proposed floor plan have been provided, a Special Land Use Permit may be required. **The applicant should follow-up with the Planning Division before applying for building permits for the interior build-out.**

5. **Bicycle Parking:** The applicant should provide a detail for the proposed bike parking so that staff can verify it conforms to the layout standards described in Section 2526 of the Zoning Ordinance.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the Planning Commission meeting and with the Final Site Plan submittal.**

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the Pre-Con, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner

PLANNING REVIEW SUMMARY CHART

**JSP13-62 Jeff Heyn Multi-Tenant
Revised Preliminary Site Plan Review
Plan Date: 10-16-13**

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Industrial Research Development Technology	No Change Proposed	Yes	
Zoning	I-1 Light Industrial District	No Change Proposed	Yes	
Use (Article 19)	Office, research & development, technology centers, warehousing, manufacturing, laboratories, utility buildings, indoor/outdoor recreation, other similar uses, and accessory structures	13,147 sq. ft. warehouse/office	Yes	The applicant should provide additional information on the use of the building. Additional special land use approvals may be required once a tenant is identified. See the planning review letter for additional information.
Building Height (Sec. 2400 & Sec. 2503.2.E)	40 feet maximum	28'6" (existing materials)	Yes	
Building Setback (Sec. 2400)				
Front (north)	40 ft.	73 ft.	Yes	
Interior Side (east)	20 ft.	204 ft.	Yes	
Interior Side (west)	20 ft.	58 ft.	Yes	
Rear (south)	20 ft.	300 ft. +	Yes	
Parking Setback (Sec. 2400)				
Front (north)	Front yard parking permitted subject to (a) Dev. must be 2 acres (b) Must be setback same as req. bldg. setback (40 ft.) (c) Cannot occupy more than 50% of the area btwn. min. front yard setback and bldg. setback (d) Must be	(a) Parcels is 6.36 acres (b) Setback min. 26 ft. from Grand River Ave. (c) Less than 25% (d) Landscape berm indicated	No	A Zoning Board of Appeals variance would be required to allow a parking setback less than 40 ft. in the front yard. Planning Commission finding that parking is compatible with surrounding development is required.

Item	Required	Proposed	Meets Requirements?	Comments
	<p>screened by brick wall or landscaped berm</p> <p>(e) Planning Commission must make finding that prkg. area and lighting is compatible w/ surrounding development</p>			
Interior Side (east)	10 ft.	17 ft. (existing condition)	Yes	
Interior Side (west)	10 ft.	10 ft.	Yes	Future greenbelt for proposed landbanked parking shown.
Rear (south)	10 ft.	177 ft. (existing condition)	Yes	
Number of Parking Spaces (Sec. 2505)	<p><u>Parking Required for Existing Uses On-Site:</u> 111 spaces (per 'Acknowledgment Regarding Limitations of Use')</p> <p><u>Warehouse Store (proposed)</u> one space per 700 sq. ft. gross leasable area $13,147/700 = 19$ spaces</p> <p>Total spaces required for site = 130 spaces</p>	154 spaces (24 landbanked)	Yes	<p>Existing uses on site include Total Sports Roller Hockey (an indoor recreational use), Crossfit Gym (a fitness use) and Adams Physical Therapy (a medical office use).</p> <p>The proposed floor plan does not include any areas that can be deducted from the gross leasable area.</p>
Landbanked Parking (Sec. 2505)	<p>(a) Min. number of required spaces must be 45</p> <p>(b) Areas for landbanked parking must be maintained as green space</p> <p>(c) Landbanked parking area must be</p>	<p>(a) 130 spaces required for site</p> <p>(b) Applicant should confirm area for landbanked parking will remain as green space</p> <p>(c) Generally meets</p>	Yes?	<p>Applicant should confirm landbanked parking area will remain as green space via a note on the plans.</p> <p>Planning Commission finding required.</p> <p>Acknowledgment Regarding Limitations of Use must be updated and</p>

Item	Required	Proposed	Meets Requirements?	Comments
	<p>developed in accordance with City standards</p> <p>(d) Planning Commission finding per Section 2505.16.e required</p> <p>(e) Owner must report any change in occupancy to the Building Division</p> <p>(f) Building Official may require installation of landbanked parking</p> <p>(g) Planning Commission may attach conditions to approval</p>	<p>requirements (d) – (g) N/A</p>		<p>signed by owner.</p>
<p>Parking Space Dimensions and Maneuvering Lanes (Sec. 2506)</p>	<p>9' x 19' parking space dimensions and 24' wide drives. 9' x 17' parking spaces allowed along 7' wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.</p>	<p>9' x 19' spaces provided</p> <p>Min. 24' access aisles provided</p>	<p>Yes</p>	
<p>Barrier Free Spaces (Barrier Free Code)</p>	<p>6 barrier free spaces required (1 van accessible)</p>	<p>6 barrier free spaces (1 van accessible) provided</p>	<p>Yes</p>	
<p>Barrier Free Space Dimensions (Barrier Free Code)</p>	<p>8' wide with a 5' wide access aisle for standard barrier free spaces, and 8' wide with an 8' wide access aisle for van accessible spaces</p>	<p>8' wide with a 5' wide access aisles for standard barrier free spaces and 8' wide with an 8' wide access aisle shown for van accessible spaces</p>	<p>Yes</p>	

Item	Required	Proposed	Meets Requirements?	Comments
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	Signage indicated	Yes	
Loading Spaces (Sec. 2507 and Sec. 22-100 City Code)	Must be in rear yard and screened from right-of-way and neighboring properties - minimum 360 sq. ft.	Loading area provided in rear of site	Yes	
Accessory Structure Setback-Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached and setback the same as parking from all property lines; the structure must be in the rear or interior side yard.	Existing dumpster located in rear of site	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet required. interior bumpers or posts required. Enclosure to match building materials and be at least one foot taller than height of refuse bin.	No changes to dumpster proposed	N/A	
Exterior lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at time of Final Site Plan	Lighting plan submitted		See lighting review chart.
Sidewalks (City Code Sec. 11-276(b) and Subdivision Ordinance Sec. 4.05A and Non-Motorized Plan)	No additional sidewalks required	No additional sidewalks proposed	Yes	
Bicycle Parking Facilities (Sec. 2526)	<p>5% of required auto parking spaces $130 \times 0.05 = 7$ bicycle parking spaces required for site</p> <p>Shall be located along the building approach line and easily accessible from the building entrance</p> <p>Max. 120 feet from entrance being served or the nearest auto parking space to that entrance</p> <p>Must be accessible via a paved 6 foot</p>	7 bicycle parking spaces proposed	Yes?	The applicant should provide a detail of the bike parking so required dimensions can be verified.

Item	Required	Proposed	Meets Requirements?	Comments
	<p>wide route and separated from auto facilities</p> <p>4 foot wide maneuvering lane required with a 6 foot parking space width and a depth of 2 feet for single spaces and 2.5 feet for double spaces</p>			
Development/ Business Sign	Signage if proposed requires a permit			Please contact Jeannie Niland (248.347.0438) for information on sign permits

Prepared by Kristen Kapelanski, AICP (248)347-0586

Lighting Review Summary Chart

Jeff Heyn Multi-Tenant JSP13-62

Revised Preliminary Site Plan Review

Plan Date: 10-16-13

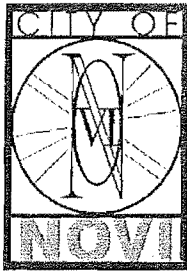
Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type and color rendition of lamps ▪ Hours of operation ▪ Photometric plan 	Yes	
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district (30 feet) or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes	- Electrical service to	No	Required notes must be

Item	Required	Meets Requirements?	Comments
(Section 2511.3.b)	light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.		added to the plan.
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes?	Applicant should provide average/minimum ratio for entire site.
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	- Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Yes?	Light levels at the property line must be included on the plan.
Cut off Angles (Section 2511.3.1 (2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

Prepared by Kristen Kapelanski, AICP
kkapelanski@cityofnovi.org

(248) 347-0586

Engineering Review



cityofnovi.org

PLAN REVIEW CENTER REPORT

November 1, 2013

Engineering Review

Jeff Heyn Multi-Tenant

JSP13-0062

Petitioner

GRB Novi LLC., applicant

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River and E. of Beck Rd.
- Site Size: 7.673 acres
- Plan Date: October 16, 2013

Project Summary

- Renovation of an approximately 13,147 square-foot building and associated parking. Site access would be provided by the existing driveway off of Grand River Ave.
- Storm water would be collected by an additional catch basin which connects to the existing storm sewer network and discharges into the Grand River Regional Detention Basin

Recommendation

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Please note that the "Future Drive and Parking Area" will require a separate site plan submittal to review the final engineering design.

2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Submit a completed Non-Domestic User Survey to Community Development.

Water Main

4. Consider connecting the proposed building renovation to the existing on-site 8-inch water main.

Sanitary Sewer

5. Provide a sanitary sewer monitoring manhole between the building connection and the public sanitary sewer.

Storm Sewer

6. Revise the storm sewer profile at Ex. Manhole "A" to match the 0.8 diameter depth for the pipe size increase from 12 inches to the existing 15-inch storm sewer.
7. Verify that the existing storm sewer is functioning as originally designed (free of blockages, obstructions, etc.) and is capable of accepting additional flow from the proposed catch basin.

Storm Water Management Plan

8. Remove the "Volume of Pond (Regional Retention Basin) On Site" from the plan set.
9. Revise the storm pipe calculations to account for the flow ($Q=CiA$) entering the storm sewer structures versus using the allowable outflow calculation. The allowable outflow calculation is only applicable when designing outlet control structures.

Paving & Grading

10. Provide the proposed contours in 2-foot intervals. Currently there is a conflict between the top-of-curb spot elevation and the existing contour adjacent to the west property line.

The following must be submitted at the time of Final Site Plan submittal:

11. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved
12. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

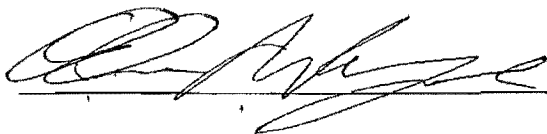
The following must be submitted at the time of Stamping Set submittal:

13. A draft copy of the 20-foot wide easement for the sanitary sewer and monitoring manhole to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.

The following must be addressed prior to construction:

14. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
15. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
16. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
17. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
18. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee may be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
19. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
20. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Matt Preisz, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department

Traffic Review

October 25, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

**SUBJECT: Jeff Heyn Multi-Tenant Building, JSP13-0062,
Traffic Review of Revised Preliminary Site Plan, PSP13-0171**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the revised preliminary site plan, subject to the issues shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing to improve the existing building and environs at 46035 Grand River. The existing 17,469-s.f. building, now vacant, would be downsized to 13,147 s.f. and apparently (according to a parking note) used for "warehouse stores or industrial warehousing." Improved sidewalks and parking areas are also proposed.

Trip Generation

How much new traffic would be generated?

2. The potential building uses remain somewhat unclear, and we are unable to provide a forecast of the new traffic generated by the surviving part of the once-occupied building.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

3. There are no proposed changes in site access.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

4. Not applicable.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

5. Not applicable.

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

6. Not applicable.

Circulation and Parking


Can vehicles safely and conveniently maneuver through the site?

7. As recommended, the architect has attempted to shorten the new parking spaces north, west, and south of the building to 17 ft. As correctly indicated by note 2 on sheet C-1, parking space length is supposed to be referenced to the face of curb. Instead, **the plan incorrectly dimensions parking space length to the first of two lines presumably representing the curb and gutter (since they scale 1½ ft apart). Since a vertical curb is nominally ½ ft wide, the resulting parking space length would be 1 ft longer than intended. We strongly recommend that the curb and gutter be represented – per standard practice – by three lines, with parking space dimensions referencing the middle of the three lines.**
8. **“TC” (top-of-curb) elevations appear to be incorrectly located along the curb line we have inferred to be the lip of gutter rather than the back of curb.**
9. As pointed out in our previous review, **“Both barrier-free parking spaces adjacent to the 8-ft-wide access aisle qualify as van-accessible – even if only one is required – and should be properly designated as such.” Also, the two barrier-free spaces scale 9 ft wide on sheet C-1 but are dimensioned 8 ft wide on sheet A-2; this discrepancy should be corrected.**
10. As also pointed out in our previous review, **the detail for barrier-free signing on sheet A-2 “does not utilize the indicated MMUTCD-standard signs and is therefore unacceptable.” Specifically, since the MMUTCD does not offer a combined sign for van-accessible spaces, it is Novi-standard practice to use two signs for such spaces: a R7-8 – which has the word “ONLY” below the wheelchair symbol – supplemented by a R7-8P sign – reading “VAN ACCESSIBLE.”**
11. **The final site plan should include a Signing Quantities Table, listing each required sign by description, MMUTCD sign code (cross-referenced to the corrected detail), and quantity.**
12. A ramped sidewalk is proposed between the barrier-free access aisle and the building, at a location some 43 ft south of the building’s north end. However, the building’s east elevation (on sheet A-4) shows the only doors some 10½ ft south of the building’s north end. **The doors should be shifted south, and potentially the sidewalk shifted north as well, so that these two key design elements align with each other.**
13. **The future concrete apron along the west side of the building has been widened to 7 ft as requested, but it is incorrectly dimensioned as 5 ft wide on sheet A-2.**

Sincerely,
CLEARZONING, INC.

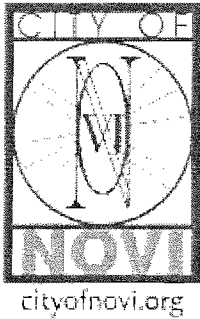


Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

Landscape Review



PLAN REVIEW CENTER REPORT

October 29, 2013

Revised Preliminary Site Plan

Jeff Heyn Commercial

Review Type

Revised Preliminary Site Plan Landscape Review

Property Characteristics

- Site Location: Grand River Avenue
- Site Zoning: I-1 – Light Industrial District
- Site Zoning: B-3 (General Business) and P-1 (Vehicular Parking)
- Adjoining Zoning: East and west: I-1; south: R-4.
- Current Site Use: Light industrial / vacant
- School District: Novi Community School District
- Site Size: 9.8 acres
- Plan Date: 10/16/13

Recommendation

Approval of the Revised Preliminary Site Plan for Jeff Heyn Commercial JSP13-62 is recommended.

Ordinance Considerations

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall berm is required along the Grand River right-of-way. Please verify that this requirement will be met.
2. Right-of-way greenbelt planting calculations have been provided and requirements have been met.
3. Twenty five foot clear vision areas has been provided as required.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required per 40 linear feet of road frontage. This requirement has been met.

Parking Landscape (Sec. 2509.3.c.)

1. A total of 714 SF of interior parking landscape area is required. This requirement will be met with the addition of the future parking areas and landscaping. For the time, this currently vegetated area will remain as green space.
2. A total of 9 Parking Lot Canopy Trees are required. Ten (10) trees have been provided. The three (3) Concolor Fir trees must be substituted with deciduous trees in order to meet ordinance requirements.
3. Please show snow storage areas on the plan as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. The Applicant has shown tree plantings in the future parking/

landscape area located to the west of the building. The requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required around the building foundation. The Applicant has followed staff recommendation to reduce the width of the access aisle to the east of the building. This allowed for the installation of additional landscape area at the east foundation.
2. While foundation landscape cannot be provided directly at the westerly foundation without compromising the 10' greenbelt, the total of 4,960 S.F. of building foundation landscape area required for the proposed improvements is met with the proposed landscape.

Plant List (LDM)

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Notations and Details (LDM)

1. The Plant Notations as provided meet the requirements of the Ordinance and the Landscape Design Manual.
2. Planting details must be provided. The standard City of Novi Planting Details sheet is available in electronic or hard copy format is available through the Community Development Department.

Irrigation (Sec. 2509 3.f.(6)(b))

1. A notation states that all landscape areas will be irrigated.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA

Wetland Review



Environmental Consulting & Technology, Inc.

September 26, 2013

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Jeff Heyn Multi-Tenant (JSP13-0062)
Wetland Review of the Preliminary Site Plan (PSP13-0150)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Jeff Heyn Multi-Tenant Preliminary Site Plan (Plan) prepared by John Stewart Architects dated September 6, 2013. The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the wetland setback provisions in the Zoning Ordinance.

Existing and Proposed Conditions

The proposed development is located south of Grand River Avenue, between Taft Road and Beck Road, Section 16. The overall site contains several parcels (3) zoned industrial and contains three existing 1-story tenant buildings. It appears as if all proposed work will take place on Parcel 1. The Plan includes proposed re-development of an existing 13,147 square foot tenant building.

The Plan appears to propose site improvements or re-development on Parcel 1 only. Based on the City of Novi Regulated Wetlands Map (attached), the site appears to contain City of Novi Regulated Wetlands located on the southern part of the site (i.e., Parcel 2). Again, it does not appear as if any of the proposed site work will occur on Parcel 2. No wetland areas are currently indicated on the Plan.

Proposed Wetland Impacts

The current Plan appears to avoid impacts to wetlands and associated 25-foot wetland setbacks/buffers.

Permits

Any proposed impacts to wetlands or 25-foot wetland buffers would require permit approval from the City of Novi and potentially from the Michigan Department of Environmental Quality (MDEQ).

Recommendation

ECT recommends **approval for wetlands** of the Preliminary Site Plan for the proposed Jeff Heyn Multi-Tenant project at this time.

2200 Commonwealth
Blvd., Suite 300
Ann Arbor, MI
48105

(734)
769-3004

FAX (734)
769-3164

An Equal Opportunity/Affirmative Action Employer
www.ectinc.com

Jeff Heyn Multi-Tenant (JSP13-0062)
Wetland Review of the Preliminary Site Plan (PSP13-0150)
September 26, 2013
Page 2 of 3

If you have any questions please feel free to contact our office

Respectfully,

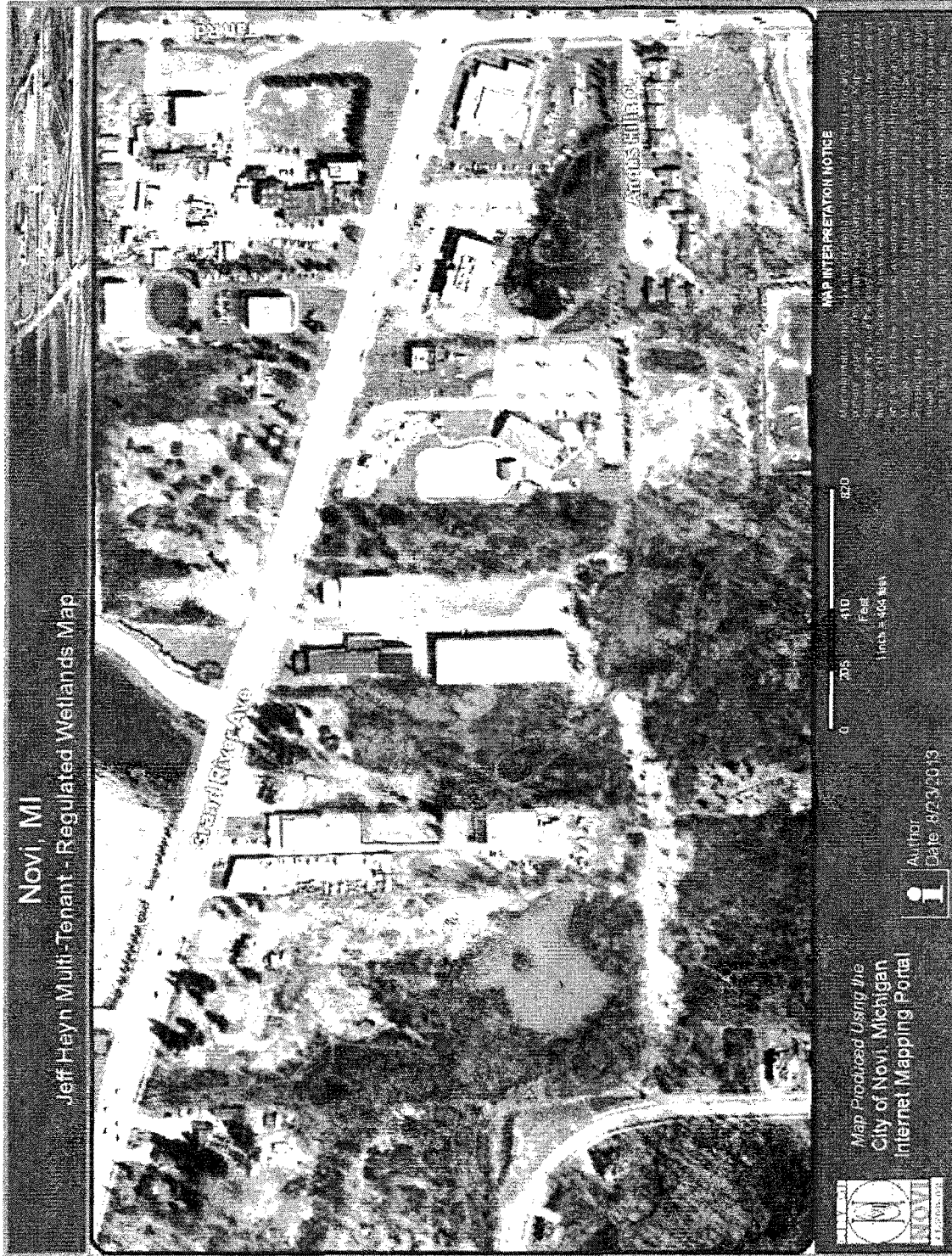
ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.

A handwritten signature in black ink that reads "Peter Hill". The signature is written in a cursive style with a large initial "P".

Peter F. Hill, P.E.
Senior Associate Engineer

cc: Angela Pawlowski, Senior Customer Service Representative, City of Novi Community Development (e-mail)
Kristen Kapelanski, AICP, Planner, City of Novi Community Development (e-mail)
Dave Beschke, RLA, City of Novi Landscape Architect (e-mail)

Attachments: Regulated Wetlands Map



Woodland Review



Environmental Consulting & Technology, Inc.

September 26, 2013

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Jeff Heyn Multi-Tenant (JSP13-0062)
Woodland Review of the Preliminary Site Plan (PSP13-0150)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Jeff Heyn Multi-Tenant Preliminary Site Plan (Plan) prepared by John Stewart Architects dated September 6, 2013. The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37. ECT completed a woodland field evaluation on September 25, 2013.

Existing and Proposed Conditions

The proposed development is located south of Grand River Avenue, between Taft Road and Beck Road, Section 16. The overall site contains several parcels (3) zoned industrial and contains three existing 1-story tenant buildings. It appears as if all proposed work will take place on Parcel 1. The Plan includes proposed re-development of an existing 13,147 square foot tenant building.

The Plan appears to propose site improvements or re-development on Parcel 1 only. Based on the City of Novi Regulated Woodlands Map (attached), the site appears to contain City of Novi Regulated Woodlands along the southern and western sides. It is not clear from the Plan if any impacts to regulated trees are currently proposed.

Proposed Woodland Impacts

The Plan indicates a *Future Drive and Parking Area* in the northwest portion of the site. This area backs up to a woodland line/greenbelt that is regulated by the City of Novi.

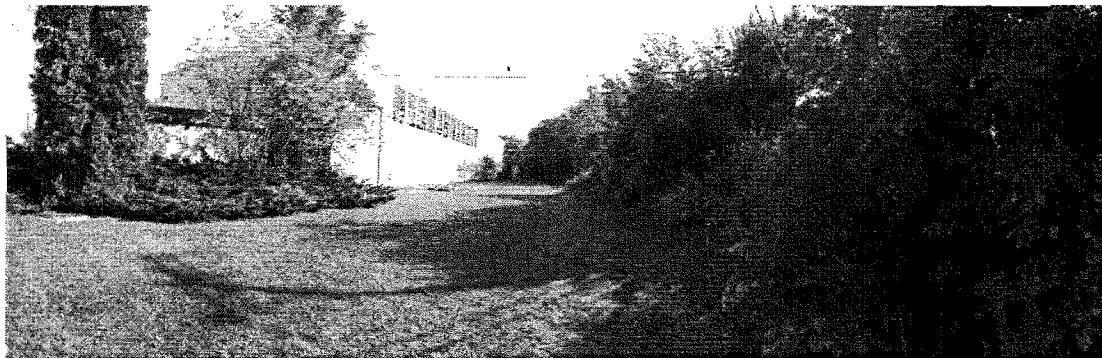


Photo 1. Looking south at woodland line/greenbelt (right side of photo).
(ECT, September 25, 2013).

2200 Commonwealth
Blvd., Suite 300
Ann Arbor, MI
48105

(734)
769-3004

FAX (734)
769-3164

Although the current Plan includes a 10' future greenbelt along the west property boundary in this area, the Plan does not include any existing tree survey information. It is currently unclear if the Applicant proposes the removal of regulated trees along the western property boundary in this location.

Permits

A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch diameter-at-breast-height (d.b.h.) or greater. Such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be two and one-half (2 ½) inches caliper or greater.

Comments and Conditions

Please consider the following for the next Plan submittal:

1. If applicable, the Applicant shall report the number of regulated trees that are proposed to be removed within the following categories and indicate how many Woodland Replacement are required for each removed tree:

Replacement Tree Requirements

Removed (In Inches)	Tree	D.B.H.	Ratio Removed Tree	Replacement/
8 < 11			1	
>11 < 20			2	
> 20 < 29			3	
> 30			4	

2. Any trees 8-inch d.b.h. or greater shall be indicated and labeled on the Site Plan, if applicable (tree species, diameter and condition should be provided).

Recommendation

ECT recommends **conditional approval for woodlands** of the Preliminary Site Plan for the proposed Jeff Heyn Multi-Tenant project at this time, contingent upon satisfactory resolution of the above *Comments and Conditions*.

Jeff Heyn Multi-Tenant (JSP13-0062)
Woodland Review of the Preliminary Site Plan (PSP13-0150)
September 26, 2013
Page 3 of 4

If you have any questions please feel free to contact our office

Respectfully,

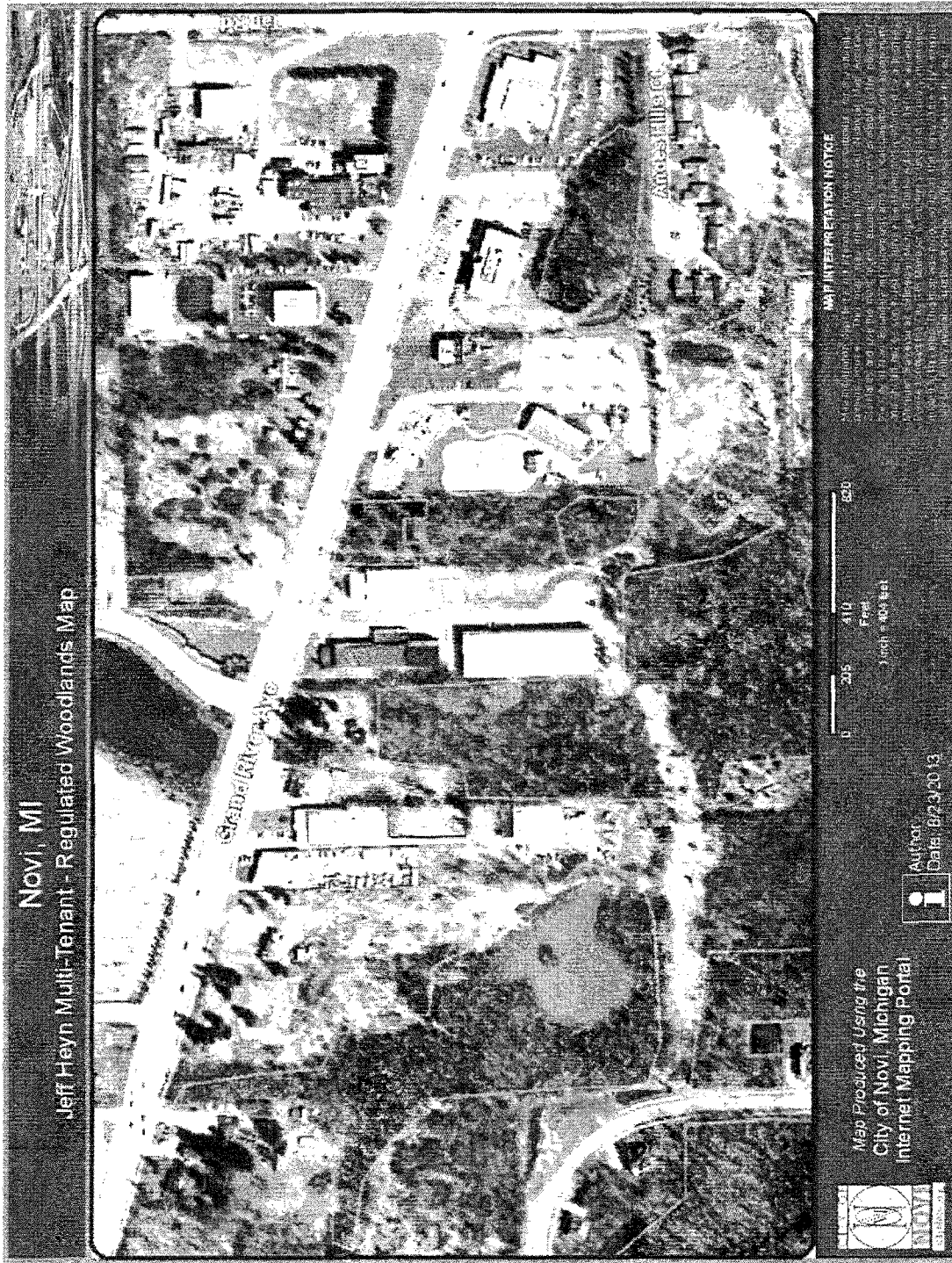
ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.

A handwritten signature in black ink, appearing to read "Peter Hill". The signature is fluid and cursive, with a large initial "P" and "H".

Peter F. Hill, P.E.
Senior Associate Engineer

cc: Angela Pawlowski, Senior Customer Service Representative, City of Novi Community
Development (e-mail)
Kristen Kapelanski, AICP, Planner, City of Novi Community Development (e-mail)
Dave Beschke, RLA, City of Novi Landscape Architect (e-mail)

Attachments: Regulated Woodlands Map



Façade Review



October 31, 2013

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – Revised Preliminary Site Plan Review

Jeff Heyn Multi-Tenant , PSP13-0171

Façade Region: 1, Zoning District: I-1, Building Size: 13,000 S.F.

Dear Ms. McBeth:

The following is the Façade Review for Revised Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by John Stewart Architects, dated October 16, 2013. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in **bold**.

Façade Region 1	North (Front)	East	West	South	Ordinance Maximum (Minimum)
Brick, natural clay (4")	0%	0%	0%	0%	100% (30% Min)
Thin Brick Veneer (AKA Panel Brick)	36%	28%	11%	0%	0%
Split Stone Veneer	17%	10%	5%	0%	50%
Granite Stone Veneer	10%	5%	2%	0%	50%
Limestone Veneer	9%	7%	3%	0%	50%
Flat Metal Panels	28%	5%	5%	4%	50%
Plain CMU (existing to be painted)	0%	14%	49%	19%	0%
Ribbed Metal Siding (existing to be painted)	0%	31%	25%	77%	0%

This project is considered an alteration in accordance with Section 2520.6 of the Façade Ordinance. Section 2520.6 states that when new materials are proposed for an existing façade, the entire façade shall be subject to Section 2520.

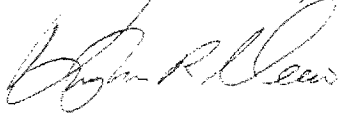
As shown above the minimum percentage of Natural Clay Brick is not provided on all facades, the percentage of Thin Brick exceeds the maximum amount allowed by the Ordinance on the north, east and west facades, and the percentages Plain CMU and Ribbed Metal exceed the maximum amounts allowed by the Ordinance on the east, west and south facades.

In this case the use of Thin Brick is an acceptable alternative to Natural Clay Brick due to the lack of a brick ledge. The other deviations from the Façade Chart are related to unaltered portions of the building that occur at the rear of the structure and are not highly visible from Grand River Avenue.

Recommendation – The proposed alterations represent a significant enhancement in the buildings appearance and are consistent with the intent and purpose of the Façade ordinance. A façade sample board provided by the applicant indicated harmonious earth toned colors that are consistent with the Façade Ordinance. A Section 9 Waiver is therefore recommended for the above referenced deviations from the Façade Chart.

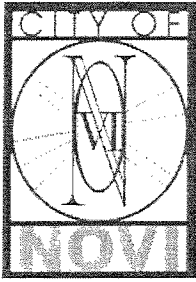
If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over a faint, illegible stamp or background.

Douglas R. Necci, AIA

Fire Review



August 22, 2013
September 19, 2013
October 28, 2013

TO: Barbara McBeth, Deputy Director of Community Development
Kristen Kapelanski
Sara Roediger

RE: Jeff Heyn Multi Tenant

SP#: PSP13-0137
PSP13-0150
PSP13-0171

CITY COUNCIL

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Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrold S. Hart

Project Description:

Renovation of approx. 13300 sq. ft. building for multi-tenant use at 46035 Grand River

Comments:

1) Parking Spaces located in front of FDC to be removed. Corrected 9/19/13

Recommendation:

Approved with conditions
9/19/13 Approved

10/28/13—Recommended for Approval

Sincerely,

Joseph Shelton – Fire Marshal
City of Novi – Fire Dept.

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

cc: file

Applicant Response Letter



PLAN REVIEW CENTER REPORT

November 1, 2013

Planning Review

Jeff Heyn Multi-Tenant

JSP# 13-62

Petitioner GRB

Novi LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: 46035 Grand River, east of Beck Road (Section 16)
- Site School District: Novi Community School District
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North: Grand River Ave., OST, EXO ; East and West: I-1; South: RA, OST
- Site Use(s): Total Sports Roller Hockey, Crossfit Gym and vacant building space
- Adjoining Uses: North: Grand River Ave., Suburban Collection Showplace, Wilkins Parts and Equipment; East: Existing house; West: Vacant; South: Existing single-family homes
- Site Size: 7.7 acres
- Plan Date: 10-16-13

Project Summary

The applicant is proposing to demolish a portion of the existing building at 46035 Grand River Avenue. The building façade would also be updated. The building is part of an existing three building site and the structure to be updated is located at the northwest corner of the site. The applicant is also proposing to expand the parking area along the north, west and south yards of the new building footprint. Updated landscaping is also proposed.

Twenty-four additional spaces along the east side of the new building footprint are proposed to be landbanked parking to be installed if the use of the site necessitates additional parking.

Recommendation

Approval of the **Revised Preliminary Site Plan is recommended**. There are planning related items that need to be addressed at the time of Final Site Plan submittal. Planning Commission approval of the Preliminary Site Plan and landbanked parking is required.

The City will update and the applicant will be required to sign the previously executed acknowledgement regarding on-site parking and the existing Shared Parking Study.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1, Light Industrial), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any

other applicable provisions of the Zoning Ordinance. Items to be addressed by the applicant or Planning Commission are shown in **bold** text.

1. Parking in the Front Yard: **A Planning Commission finding that the proposed front yard parking is compatible with the surrounding developments is required.** Front yard parking in the I-1 District requires the parking not occupy more than 50% of the area between the minimum front yard setback and actual building setback. The plan meets this requirement. Additionally, the front yard parking must be screened by a brick wall or landscaped berm. A berm has been proposed along Grand River Avenue. Additionally, the parking must be setback the same as the required building setback, 40 feet in this case. The proposed front parking is setback 26 feet from Grand River Avenue. **The applicant will need to seek a Zoning Board of Appeals variance for the deficient parking setback.**
2. Landbanked Parking Spaces: The applicant has elected to landbank 24 parking spaces on the east side of the building. Landbanked parking for up to 25% of the required parking is permitted provided the applicant can demonstrate the number of parking spaces required is in excess of the spaces needed for the 'functional use' of the building. Several conditions apply:
 - a. The minimum number of spaces required for the site shall be 45 prior to the landbank request. The minimum number of spaces required for this site is 130.
 - b. A plan showing the parking to be constructed and landbanked must be submitted showing compliance with ordinance standards if the parking were to be constructed and all landbanked areas must be kept as landscaped open space.
 - c. The Planning Commission may attach conditions to the approval that will serve to meet the objectives and intent of the Ordinance. The Planning Commission shall make a finding that the plan meets the following standards:
 - i. The applicant has demonstrated through substantial evidence that the specified occupant or building use would require less parking than what would typically be required;
 - ii. Parking will not occur on any street or driveway;
 - iii. Parking will not occur on any area not approved and developed for parking;
 - iv. Parking will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking;
 - v. The required parking landbanking shall not create traffic or circulation problems on or off site;
 - vi. The requested parking landbanking shall be consistent with the public health, safety and welfare of the City and the purposes of the Zoning Ordinance.
 - d. The owner of the property must report any change in use to the Building Official who may require the additional spaces to be constructed.
3. Photometric Plan: There are several deficient and missing items on the site lighting plan. **The applicant should refer the lighting review chart and make the appropriate corrections and additions for the Final Site Plan submittal. REVISE AS REQUIRED**
4. Warehouse Use: The applicant has indicated a general warehouse use for the building. A warehouse adjacent to residential zoning is a Special Land Use in the I-1 District and requires the approval of a Special Land Use Permit from the Planning Commission. Once a tenant is identified and more details on the exact use of the building and the proposed floor plan have been provided, a Special Land Use Permit may be required. **The applicant should follow-up with the Planning Division before applying for building permits for the interior build-out.**

WILL SUBMIT TO NOVI AS SOON AS TENANT USE IS KNOWN

5. **Bicycle Parking:** The applicant should provide a detail for the proposed bike parking so that staff can verify it conforms to the layout standards described in Section 2526 of the Zoning Ordinance. **BIKE PARKING SIZE MEETS NOVI REQUIREMENTS. ADDITIONAL DETAILS WILL BE SUBMITTED FOR FINAL REVIEW**

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the Planning Commission meeting and with the Final Site Plan submittal.**

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the Pre-Con, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner

PLANNING REVIEW SUMMARY CHART

**JSP13-62 Jeff Heyn Multi-Tenant
Revised Preliminary Site Plan Review
Plan Date: 10-16-13**

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Industrial Research Development Technology	No Change Proposed	Yes	
Zoning	I-1 Light Industrial District	No Change Proposed	Yes	
Use (Article 19)	Office, research & development, technology centers, warehousing, manufacturing, laboratories, utility buildings, indoor/outdoor recreation, other similar uses, and accessory structures	13,147 sq. ft. warehouse/office	Yes	The applicant should provide additional information on the use of the building. Additional special land use approvals may be required once a tenant is identified. See the planning review letter for additional information. WILL SUBMIT
Building Height (Sec. 2400 & Sec. 2503.2.E)	40 feet maximum	28' 6" (existing materials)	Yes	
Building Setback (Sec. 2400)				
Front (north)	40 ft.	73 ft.	Yes	
Interior Side (east)	20 ft.	204 ft.	Yes	
Interior Side (west)	20 ft.	58 ft.	Yes	
Rear (south)	20 ft.	300 ft. +	Yes	
Parking Setback (Sec. 2400)				
Front (north)	Front yard parking permitted subject to (a) Dev. must be 2 acres (b) Must be setback same as req. bldg. setback (40 ft.) (c) Cannot occupy more than 50% of the area btwn. min. front yard setback and bldg. setback (d) Must be	(a) Parcels is 6.36 acres (b) Setback min. 26 ft. from Grand River Ave. (c) Less than 25% (d) Landscape berm indicated	No	A Zoning Board of Appeals variance would be required to allow a parking setback less than 40 ft. in the front yard. Planning Commission finding that parking is compatible with surrounding development is required. VARIANCE HAS BEEN REQUESTED

Item	Required	Proposed	Meets Requirements?	Comments
	<p>screened by brick wall or landscaped berm</p> <p>(e) Planning Commission must make finding that prkg. area and lighting is compatible w/ surrounding development</p>			
Interior Side (east)	10 ft.	17 ft. (existing condition)	Yes	
Interior Side (west)	10 ft.	10 ft.	Yes	Future greenbelt for proposed landbanked parking shown.
Rear (south)	10 ft.	177 ft. (existing condition)	Yes	
Number of Parking Spaces (Sec. 2505)	<p>Parking Required for Existing Uses On-Site:</p> <p>111 spaces (per 'Acknowledgment Regarding Limitations of Use')</p> <p>Warehouse Store (proposed)</p> <p>one space per 700 sq. ft. gross leasable area</p> <p>$13,147/700 = 19$ spaces</p> <p>Total spaces required for site = 130 spaces</p>	154 spaces (24 landbanked)	Yes	<p>Existing uses on site include Total Sports Roller Hockey (an indoor recreational use), Crossfit Gym (a fitness use) and Adams Physical Therapy (a medical office use).</p> <p>The proposed floor plan does not include any areas that can be deducted from the gross leasable area.</p> <p>AS SOON AS USE IS KNOWN, WILL SUBMIT FOR REVIEW AND APPROVAL</p>
Landbanked Parking (Sec. 2505)	<p>(a) Min. number of required spaces must be 45</p> <p>(b) Areas for landbanked parking must be maintained as green space</p> <p>(c) Landbanked parking area must be</p>	<p>(a) 130 spaces required for site</p> <p>(b) Applicant should confirm area for landbanked parking will remain as green space</p> <p>(c) Generally meets</p>	Yes?	<p>Applicant should confirm landbanked parking area will remain as green space via a note on the plans.</p> <p>NOTED ON PLAN</p> <p>Planning Commission finding required.</p> <p>Acknowledgment Regarding Limitations of Use</p>

Item	Required	Proposed	Meets Requirements?	Comments
	<p>developed in accordance with City standards</p> <p>(d) Planning Commission finding per Section 2505.1 6.e required</p> <p>(e) Owner must report any change in occupancy to the Building Division</p> <p>(f) Building Official may require installation of land banked parking</p> <p>(g) Planning Commission may attach conditions to approval</p>	<p>requirements (d) – (g) N/A</p>		<p>signed by owner.</p> <p>OWNER TO SUBMIT</p>
<p>Parking Space Dimensions and Maneuvering Lanes (Sec. 2506)</p>	<p>9' x 19' parking space dimensions and 24' wide drives. 9' x 17' parking spaces allowed along 7' wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.</p>	<p>9' x 19' spaces provided</p> <p>Min. 24' access aisles provided</p>	<p>Yes</p>	
<p>Barrier Free Spaces (Barrier Free Code)</p>	<p>6 barrier free spaces required (1 van accessible)</p>	<p>6 barrier free spaces (1 van accessible) provided</p>	<p>Yes</p>	
<p>Barrier Free Space Dimensions (Barrier Free Code)</p>	<p>8' wide with a 5' wide access aisle for standard barrier free spaces, and 8' wide with an 8' wide access aisle for van accessible spaces</p>	<p>8' wide with a 5' wide access aisles for standard barrier free spaces and 8' wide with an 8' wide access aisle shown for van accessible spaces</p>	<p>Yes</p>	

Item	Required	Proposed	Meets Requirements?	Comments
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	Signage indicated	Yes	
Loading Spaces (Sec. 2507 and Sec. 22-100 City Code)	Must be in rear yard and screened from right-of-way and neighboring properties - minimum 360 sq. ft.	Loading area provided in rear of site	Yes	
Accessory Structure Setback- Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached and setback the same as parking from all property lines; the structure must be in the rear or interior side yard.	Existing dumpster located in rear of site	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet required, interior bumpers or posts required. Enclosure to match building materials and be at least one foot taller than height of refuse bin.	No changes to dumpster proposed	N/A	
Exterior lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at time of Final Site Plan	Lighting plan submitted		See lighting review chart.
Sidewalks (City Code Sec. 11-276(b) and Subdivision Ordinance Sec. 4.05A and Non-Motorized Plan)	No additional sidewalks required	No additional sidewalks proposed	Yes	
Bicycle Parking Facilities (Sec. 2526)	<p>5% of required auto parking spaces $130 \times 0.05 = 7$ bicycle parking spaces required for site</p> <p>Shall be located along the building approach line and easily accessible from the building entrance</p> <p>Max. 120 feet from entrance being served or the nearest auto parking space to that entrance</p> <p>Must be accessible via a paved 6 foot</p>	7 bicycle parking spaces proposed	Yes?	<p>The applicant should provide a detail of the bike parking so required dimensions can be verified.</p> <p>DETAILS WILL BE ON FINAL PLAN FOR REVIEW</p>

Item	Required	Proposed	Meets Requirements?	Comments
	<p>wide route and separated from auto facilities</p> <p>4 foot wide maneuvering lane required with a 6 foot parking space width and a depth of 2 feet for single spaces and 2.5 feet for double spaces</p>			
Development/ Business Sign	Signage if proposed requires a permit			Please contact Jeannie Niland (248.347.0438) for information on sign permits

Prepared by Kristen Kapelanski, AICP (248)347-0586

Lighting Review Summary Chart
 Jeff Heyn Multi-Tenant JSP13-62
 Revised Preliminary Site Plan Review
 Plan Date: 10-16-13

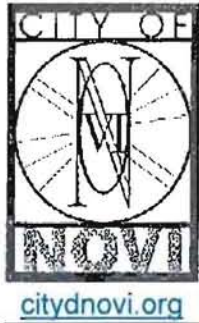
Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511 .2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511 .2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> • Photometric data • Fixture height • Mounting & design • Glare control devices • Type and color rendition of lamps • Hours of operation • Photometric plan 	Yes	
Required conditions (Section 2511 .3.a)	Height not to exceed maximum height of zoning district (30 feet) or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes	- Electrical service to	No	Required notes must be

Item	Required	Meets Requirements?	Comments
(Section 2511 .3.b)	light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.		added to the plan. WIRING AND CONDUIT SIZE ON ELECTRICAL DRAWING TO BE SUBMITTED
Required conditions (Section 2511 .3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes?	Applicant should provide average/minimum ratio for entire site. WE ARE ONLY PROPOSING LIGHTING AT THE NEW RENOVATION?
Required conditions (Section 2511 .3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511 .3.k)	- Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1 .0 min - Building entrances, infrequent use- 0.2 min	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511 .3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Yes?	Light levels at the property line must be included on the plan. LIGHT LEVEL IS NOTED AS "0" AT PROPERTY LINE. WILL SHOW "0" AT PROP.LINE
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

Prepared by Kristen Kapelanski, AICP

kkapelanski@cityofnovi.org

(248) 347-0586



PLAN REVIEW CENTER REPORT

November 1, 2013

Engineering Review

Jeff Heyn Multi-Tenant
JSP13-0062

Petitioner

GRB Novi LC., applicant

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River and E. of Beck Rd.
- Site Size: 7.673 acres
- Plan Date: October 16, 2013

Project Summary

- Renovation of an approximately 13,147 square-foot building and associated parking. Site access would be provided by the existing driveway off of Grand River Ave
- Storm water would be collected by an additional catch basin which connects to the existing storm sewer network and discharges into the Grand River Regional Detention Basin

Recommendation

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

- 1 Please note that the "Future Drive and Parking Area" will require a separate site plan submittal to review the final engineering design.

2. The City standard detail sheets are not required for the Final Site Plan submittal, They will be required with the Stamping Set submittal.
3. Submit a completed Non-Domestic User Survey to Community Development.

SUBMITTAL AT TIME OF TENANT DETERMINATION

Water Main

4. Consider connecting the proposed building renovation to the existing on-site 8-inch water main. **WILL ADVISE REGARDING THE 8" WATER LINE.**

Sanitary Sewer

5. Provide a sanitary sewer monitoring manhole between the building connection and the public sanitary sewer. **THIS ITEM WILL BE INSTALL IF THE EXISTING WELL SYSTEM TO REMAIN. WILL NOT BE NEEDED IF CONNECTED TO THE 8" WATER LINE**

Storm Sewer

6. Revise the storm sewer profile at Ex. Manhole "A" to match the 0.8 diameter depth for the pipe size increase form 12 inches to the existing 15-inch storm sewer. **WILL REVIEW WITH THE CITY ENGINEER??**
7. Verify that the existing storm sewer is functioning as originally designed (free of blockages, obstructions, etc.) and is capable of accepting additional flow from the proposed catch basin. **OWNER TO VERIFY AND REPORT**

Storm Water Management Plan

8. Remove the "Volume of Pond (Regional Retention Basin) On Site" from the plan set. **WILL REVISE**
9. Revise the storm pipe calculations to account for the flow $(C)=C/A$ entering the storm sewer structures versus using the allowable outflow calculation. The allowable outflow calculation is only applicable when designing outlet control structures. **TO SUBMIT ADDITIONAL CALCULATIONS**

Paving & Grading

10. Provide the proposed contours in in 2-foot intervals. Currently there is a conflict between the top-of-curb spot elevation and the existing contour adjacent to the west property line.

The following must be submitted at the time of Final Site Plan submittal: WILL PROVIDE

11. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved
12. An itemized construction cost estimate must be submitted to the Community

Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration). **WILL REVIEW WITH CITY ENGINEER??**

The following must be submitted at the time of Stamping Set submittal:

13. A draft copy of the 20-foot wide easement for the sanitary sewer and monitoring manhole to be constructed on the site must be submitted to the Community Development Department. This document is available on our website. **OWNERS ATTORNEY WILL FINALIZE**

The following must be addressed prior to construction:

14. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **OK**
15. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office. **OK**
16. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information. **OK**
17. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting. **OK**
18. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee may be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
19. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
20. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Adam Wayne at (248) 735-5648 with any questions.

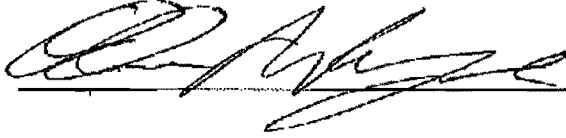
Engineering Review of Revised Preliminary Site Plan

Jeff Heyn Multi-Tenant

JSP13-0062

November 1, 2013

Page 3 of 6

A handwritten signature in black ink, appearing to read "Matt Preisz", is written over a horizontal line.

cc: Matt Preisz, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department

October 25, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

**SUBJECT: Jeff Heyn Multi-Tenant Building, JSP13-0062,
Traffic Review of Revised Preliminary Site Plan, PSP13-0171**

Dear Ms. Mc Beth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the revised preliminary site plan, subject to the issues shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing to improve the existing building and environs at 46035 Grand River. The existing 17,469-s.f. building, now vacant, would be downsized to 13,147 s.f. and apparently (according to a parking note) used for "warehouse stores or industrial warehousing." Improved sidewalks and parking areas are also proposed.

Trip Generation

How much new traffic would be generated?

2. The potential building uses remain somewhat unclear, and we are unable to provide a forecast of the new traffic generated by the surviving part of the once-occupied building.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

3. There are no proposed changes in site access.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

4. Not applicable.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

5. Not applicable.

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

6. Not applicable.

Circulation and Parking

Can vehicles safely and conveniently maneuver through the site?

7. As recommended, the architect has attempted to shorten the new parking spaces north, west, and south of the building to 17 ft. As correctly indicated by note 2 on sheet C-1, parking space length is supposed to be referenced to the face of curb. Instead, **the plan incorrectly dimensions parking space length to the first of two lines presumably representing the curb and gutter (since they scale 1 1/2 ft apart). Since a vertical curb is nominally 1/2 ft wide, the resulting parking space length would be 1 ft longer than intended. We strongly recommend that the curb and gutter be represented – per standard practice – by three lines, with parking space dimensions referencing the middle of the three lines. REVISED**
8. **“TC” (top-of-curb) elevations appear to be incorrectly located along the curb line we have inferred to be the lip of gutter rather than the back of curb. REVISED**
9. As pointed out in our previous review, **“Both barrier-free parking spaces adjacent to the 8-ft-wide access aisle qualify as van-accessible – even if only one is required – and should be properly designated as such.” Also, the two barrier-free spaces scale 9 ft wide on sheet C-1 but are dimensioned 8 ft wide on sheet A-2; this discrepancy should be corrected. REVISED**
10. As also pointed out in our previous review, **the detail for barrier-free signing on sheet A-2 “does not utilize the indicated MMUTCD-standard signs and is therefore unacceptable.” Specifically, since the MMUTCD does not offer a combined sign for van-accessible spaces, it is Novis-standard practice to use two signs for such spaces: a R7-8 – which has the word “ONLY” below the wheelchair symbol – supplemented by a R7-8P sign – reading “VAN ACCESSIBLE.” REVISED**
11. **The final site plan should include a Signing Quantities Table, listing each required sign by description, MMUTCD sign code (cross-referenced to the corrected detail), and quantity. REVISED AND INCLUDED ON PLAN**
12. A ramped sidewalk is proposed between the barrier-free access aisle and the building, at a location some 43 ft south of the building’s north end. However, the building’s east elevation (on sheet A-4) shows the only doors some 10 1/2 ft south of the building’s north end. **The doors should be shifted south, and potentially the sidewalk shifted north as well, so that these two key design elements align with each other. REVISED**
13. **The future concrete apron along the west side of the building has been widened to 7 ft as requested, but it is incorrectly dimensioned as 5 ft wide on sheet A-2. NOTE CORRECTED**

Sincerely,
CLEARZONING, INC.



Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering



PLAN REVIEW CENTER REPORT

October 29, 2013

Revised Preliminary Site Plan

Jeff Heyn Commercial

Review Type

Revised Preliminary Site Plan Landscape Review

Property Characteristics

- Site Location: Grand River Avenue
- Site Zoning: I-1 – Light Industrial District
- Site Zoning: B-3 (General Business) and P-1 (Vehicular Parking)
- Adjoining Zoning: East and west: I-1; south: R-4.
- Current Site Use: Light industrial / vacant
- School District: Novi Community School District
- Site Size: 9.8 acres
- Plan Date: 10/16/13

Recommendation

Approval of the Revised Preliminary Site Plan for Jeff Heyn Commercial JSP13-62 is recommended.

Ordinance Considerations

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall berm is required along the Grand River right-of-way. Please verify that this requirement will be met.
2. Right-of-way greenbelt planting calculations have been provided and requirements have been met.
3. Twenty five foot clear vision areas has been provided as required.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required per 40 linear feet of road frontage. This requirement has been met.

Parking Landscape (Sec. 2509.3.c.)

1. A total of 714 SF of interior parking landscape area is required. This requirement will be met with the addition of the future parking areas and landscaping. For the time, this currently vegetated area will remain as green space.
2. A total of 9 Parking Lot Canopy Trees are required. Ten (10) trees have been provided. The three (3) Concolor Fir trees must be substituted with deciduous trees in order to meet ordinance requirements. REVISED
3. Please show snow storage areas on the plan as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. The Applicant has shown tree plantings in the future parking/

landscape area located to the west of the building. The requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required around the building foundation. The Applicant has followed staff recommendation to reduce the width of the access aisle to the east of the building. This allowed for the installation of additional landscape area at the east foundation.
2. While foundation landscape cannot be provided directly at the westerly foundation without compromising the 10' greenbelt, the total of 4,960 S.F. of building foundation landscape area required for the proposed improvements is met with the proposed landscape.

Plant List (LDM)

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Notations and Details (LDM)

1. The Plant Notations as provided meet the requirements of the Ordinance and the Landscape Design Manual.
2. Planting details must be provided. The standard City of Novi Planting Details sheet is available in electronic or hard copy format is available through the Community Development Department. **I HAVE THE SHEETS, WILL SUBMIT WITH FINAL SITE PLANS.**

Irrigation (Sec. 2509 3.f.(6)(b))

1. A notation states that all landscape areas will be irrigated.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA



October 31, 2013

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – Revised Preliminary Site Plan Review
Jeff Heyn Multi-Tenant , PSP13-0171

Façade Region: 1, Zoning District: I-1, Building Size: 13,000 S.F.

Dear Ms. McBeth:

The following is the Façade Review for Revised Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by John Stewart Architects, dated October 16, 2013. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in **bold**.

Façade Region 1	North (Front)	East	West	South	Ordinance Maximum (Minimum)
Brick, natural clay (4")	0%	0%	0%	0%	100% (30% Min)
Thin Brick Veneer (AKA Panel Brick)	36%	28%	11%	0%	0%
Split Stone Veneer	17%	10%	5%	0%	50%
Granite Stone Veneer	10%	5%	2%	0%	50%
Limestone Veneer	9%	7%	3%	0%	50%
Flat Metal Panels	28%	5%	5%	4%	50%
Plain CMU (existing to be painted)	0%	14%	49%	19%	0%
Ribbed Metal Siding (existing to be painted)	0%	31%	25%	77%	0%

This project is considered an alteration in accordance with Section 2520.6 of the Façade Ordinance. Section 2520.6 states that when new materials are proposed for an existing façade, the entire façade shall be subject to Section 2520.

As shown above the minimum percentage of Natural Clay Brick is not provided on all facades, the percentage of Thin Brick exceeds the maximum amount allowed by the Ordinance on the north, east and west facades, and the percentages Plain CMU and Ribbed Metal exceed the maximum amounts allowed by the Ordinance on the east, west and south facades.

In this case the use of Thin Brick is an acceptable alternative to Natural Clay Brick due to the lack of a brick ledge. The other deviations from the Façade Chart are related to unaltered portions of the building that occur at the rear of the structure and are not highly visible from Grand River Avenue.

Recommendation – The proposed alterations represent a significant enhancement in the buildings appearance and are consistent with the intent and purpose of the Façade ordinance. A façade sample board provided by the applicant indicated harmonious earth toned colors that are consistent with the Façade Ordinance. A Section 9 Waiver is therefore recommended for the above referenced deviations from the Façade Chart.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is written in a cursive style with a large, stylized initial "D".

Douglas R. Necci, AIA



August 22, 2013
September 19, 2013
October 28, 2013

TO: Barbara McBeth, Deputy Director of Community Development
Kristen Kapelanski
Sara Roediger

RE: Jeff Heyn Multi Tenant

SP#: PSP13-0137
PSP13-0150
PSP13-0171

Project Description:

Renovation of approx. 13300 sq. ft. building for multi-tenant use at 46035 Grand River

Comments:

1) Parking Spaces located in front of FDC to be removed. Corrected 9/19/13

Recommendation:

Approved with conditions
9/19/13 Approved

10/28/13—Recommended for Approval

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
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Terry K. Margolis

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Laura Marie Casey

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Director of Public Safety
Chief of Police
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

Sincerely,

Joseph Shelton – Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

Site Plan and Rendering



MAPS
Location
Zoning
Future Land Use
Natural Features

JSP13-62 Jeff Heyn Multi-Tenant Location



Grand River Avenue

Area of Proposed Updates

Map Author: Kristen Kapelanski
Date: 11-05-13
Project: Jeff Heyn Multi-Tenant JSP13-62
Version #: 1.0

Map Legend

 Subject Property



City of Novi
Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE

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Feet
0 25 50 100 150 200
1 inch = 133 feet

JSP13-62 Jeff Heyn Multi-Tenant Zoning

Grand River Avenue

Area of Proposed Updates



Map Author: Kristen Kapelanski
 Date: 11-05-13
 Project: Jeff Heyn Multi-Tenant JSP13-62
 Version #: 1.0

Map Legend

-  Subject Property
-  R-A: Residential Acreage
-  I-1: Light Industrial District
-  OST: Office Service Technology



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 133 feet

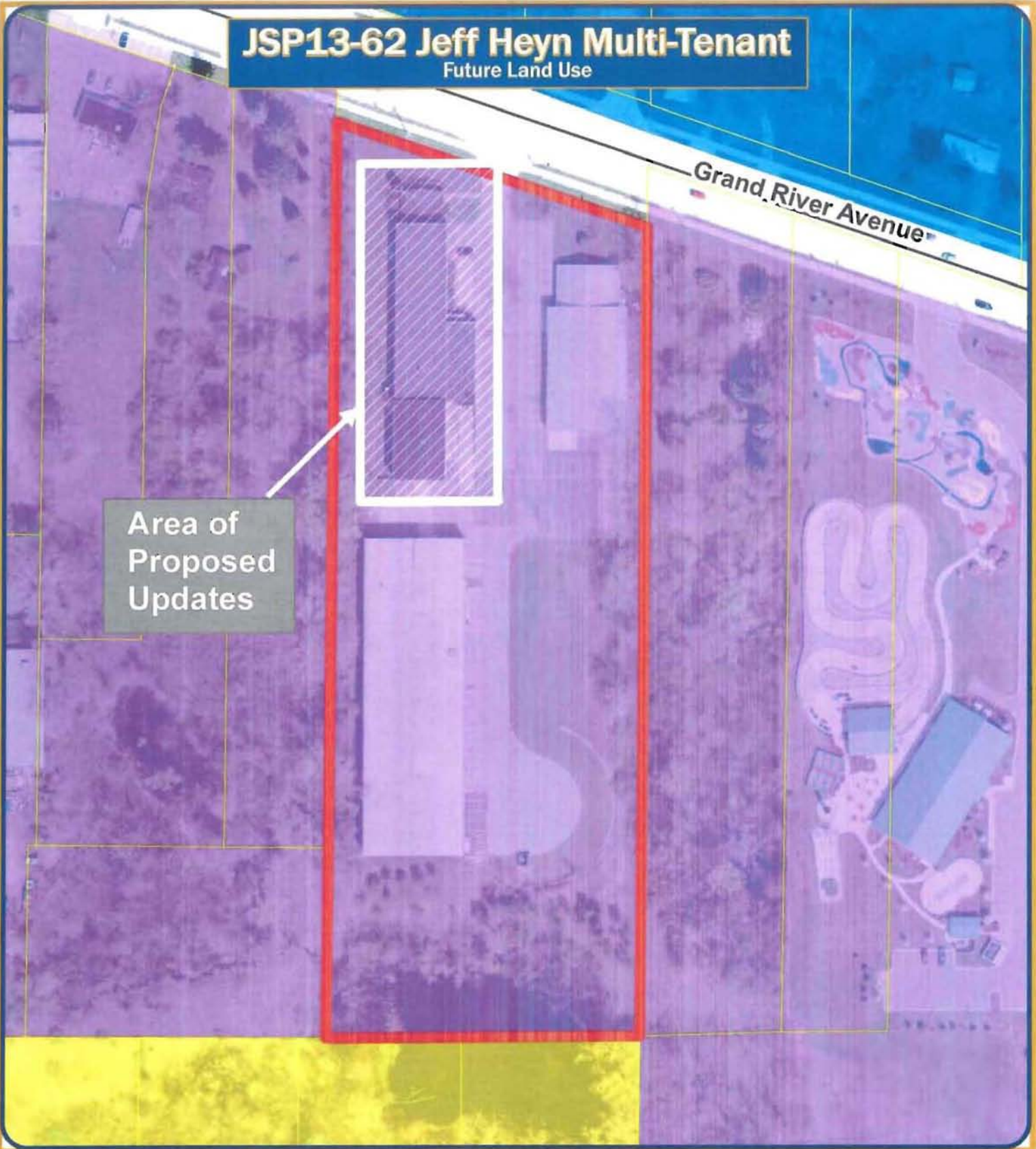
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JSP13-62 Jeff Heyn Multi-Tenant

Future Land Use

Grand River Avenue

Area of Proposed Updates



Map Author: Kristen Kapelanski
 Date: 11-05-13
 Project: Jeff Heyn Multi-Tenant JSP13-62
 Version #: 1.0

Map Legend

-  Subject Property
-  Single Family
-  Office RD Tech
-  Industrial RD Tech



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
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cityofnovi.org



1 inch = 133 feet

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JSP13-62 Jeff Heyn Multi-Tenant

Natural Features



Map Author: Kristen Kapelanski
 Date: 11-05-13
 Project: Jeff Heyn Multi-Tenant JSP13-62
 Version #: 1.0

Map Legend

-  Subject Property
-  Wetlands
-  Woodlands



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
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1 inch = 133 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or private survey. This map was prepared by using National Map Accuracy Standards and was the most recent available information available to the people of the City of Novi. Boundary inaccuracies and other omissions are acknowledged and should not be interpreted as having any legal effect. This map is for informational purposes only and does not constitute a warranty of any kind. The City of Novi is not responsible for any errors or omissions on this map.

GRAND RIVER COMMERCIAL DEVELOPMENT

46035 GRANDRIVER AVE.

ZONING INFORMATION

REQUIRED	SHOWN
PROPERTY IS ZONED "I-1" LIGHT INDUSTRIAL	
FRONT SETBACK: 40 FEET SIDE SETBACK: 20 FEET REAR SETBACK: 20 FEET	FRONT SETBACK: 50 FEET SIDE SETBACK: 60 FEET REAR SETBACK: 550 FEET + / -
MINIMUM LOT AREA: 2 ACRES MINIMUM FRONTAGE: 200 FEET	COMBINED PARCELS AREA: 7.673 ACRES FRONTAGE: 333.75 FEET
HEIGHT RESTRICTIONS: 40 FEET	
MAXIMUM BUILDING COVERAGE: 40 PERCENT	BUILDING COVERAGE: 18.6 PERCENT

PROPOSED USE WAREHOUSE STORES OR INDUSTRIAL WAREHOUSING
FINAL TENANT USE TO BE ISSUED TO CITY OF NOVI FOR APPROVAL

PARKING REQUIREMENT

BUILDING # 46001 :	
PARKING REQUIRED FOR CROSSFIT GYM	11 CARS
PARKING REQUIRED FOR ADAMS PHYSICAL THERAPY	12 CARS

BUILDING # 46039 :	
PARKING REQUIRED FOR TOTAL SPORTS	100 CARS

EXISTING REQUIRED PARKING	123 CARS
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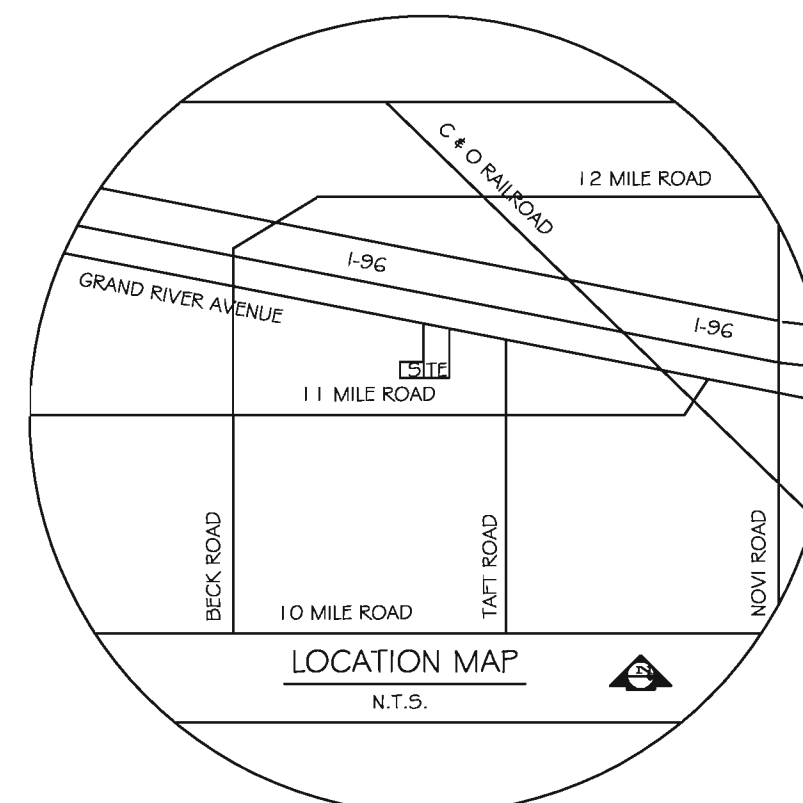
BUILDING # 46035 :	
NEW TENANT BLDG. 13300 SF GROSS 10640 SF USABLE	
FINAL TENANT USE AND PARKING REQUIREMENTS TO BE DETERMINED AND SUBMITTED TO CITY FOR FINAL APPROVAL	
PARKING REQUIRED WAREHOUSE STORES OR INDUSTRIAL WAREHOUSING (1 CAR/700 SF) 10640 LEASABLE SPACE / 700 = 15 CARS	15 CARS
TOTAL REQUIRED PARKING	138 CARS
SPACES SHOWN ON SITE PLAN PLUS SPACES PROPOSED AS LANDBANKED	138 CARS 24 CARS 162 CARS

OWNER: HEYN PROPERTIES LLC
C/O MR. JEFF HEYN
PO BOX 535
MILFORD, MICHIGAN 48381
PHONE: 248-889-5000

SURVEYOR: MCNEELY & LINCOLN ASSOCIATES, INC.
37741 PEMBROKE
LIVONIA, MICHIGAN 48152
PHONE: 734-432-9777

HOURS OF OPERATION: 8 A.M. - 10 P.M.

ALL EXTERIOR LIGHTS SHALL BE CONTROLLED BY A TIME CLOCK. PARKING LOT LIGHTS SHALL BE TURNED OFF 1/2 HOUR AFTER CLOSING. AND RE-LIGHT 1/2 HOUR PRIOR TO OPENING



PARCEL 1

LAND IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS:

PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, T.1.N., R.8.E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS: COMMENCING AT THE INTERSECTION OF THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 16 AND THE CENTERLINE OF US-16 HIGHWAY, THENCE ALONG SAID CENTERLINE SOUTH 70 DEGREES 47 MINUTES 35 SECONDS EAST, 1078.21 FEET; THENCE SOUTH 00 DEGREES 26 MINUTES 15 SECONDS WEST, 52.81 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID US-16 HIGHWAY BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE ALONG SAID RIGHT OF WAY LINE SOUTH 70 DEGREES 47 MINUTES 35 SECONDS EAST, 167.28 FEET; THENCE SOUTH 00 DEGREES 34 MINUTES 03 SECONDS WEST, 878.97 FEET TO A SOUTH 89 DEGREES 52 MINUTES 54 SECONDS WEST, 156.40 FEET; THENCE NORTH 00 DEGREES 26 MINUTES 15 SECONDS EAST, 934.31 FEET TO THE POINT OF BEGINNING

PARCEL 2

LAND IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS:

PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, T.1.N., R.8.E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS: BEGINNING AT A POINT ON THE EAST-WEST 1/8 LINE SOUTH 89 DEGREES 52 MINUTES 54 SECONDS WEST, 312.80 FEET FROM THE SOUTHEAST CORNER THEREOF; THENCE SOUTH 52 MINUTES 54 SECONDS WEST ALONG SAID LINE 306.35 FEET; THENCE NORTH 00 DEGREES 26 MINUTES 15 SECONDS EAST, 189 FEET; THENCE SOUTH 89 DEGREES 33 MINUTES 45 SECONDS EAST, 306.35 FEET; THENCE SOUTH 00 DEGREES 26 MINUTES 15 SECONDS WEST, 186.06 FEET TO THE POINT OF BEGINNING

PARCEL 3

LAND IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS:

PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, T.1.N., R.8.E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS: COMMENCING AT THE INTERSECTION OF THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 16 AND THE CENTERLINE OF US-16 HIGHWAY, THENCE ALONG SAID CENTERLINE SOUTH 70 DEGREES 47 MINUTES 35 SECONDS EAST, 1245.62 FEET; THENCE SOUTH 00 DEGREES 34 MINUTES 03 SECONDS WEST, 52.76 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID US-16 HIGHWAY BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE ALONG SAID RIGHT-OF-WAY LINE SOUTH 70 DEGREES 47 MINUTES 35 SECONDS EAST, 167.27 FEET; THENCE SOUTH 00 DEGREES 42 MINUTES 50 SECONDS WEST, 823.64 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 54 SECONDS WEST, 156.40 FEET; THENCE NORTH 00 DEGREES 34 MINUTES 03 SECONDS EAST, 878.97 FEET TO THE POINT OF BEGINNING

LIST OF DRAWINGS

A - 1	COVER SHEET
A - 2	SITE PLAN
A - 3	EXISTING SURVEY
A - 4	FLOOR PLAN & ELEVATIONS
A - 5	ELEVATIONS
A - 6	LANDSCAPE PLAN
A - 7	SITE LIGHTING
C - 1	PAVING AND UNDERGROUND
C - 2	STORM WATER MANAGEMENT

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY LINE
		SANITARY SEWER
		STORM SEWER
		WATERMAIN
		GAS MAIN
		UNDERGROUND ELECTRIC
		OVERHEAD WIRES
		CENTERLINE
		CURBING
		BUILDING WALL
		GUARD RAIL
		CULVERT
		TRAFFIC FLOW
		DRAINAGE FLOW
		DRAINAGE SWALE
		FLARED END SECTION
		LIGHT POLE
		UTILITY POLE
		HYDRANT
		THRUST BLOCK
		GATE VALVE & WELL
		SANITARY MANHOLE
		SANITARY CLEAN OUT
		CATCH BASIN
		STORM MANHOLE
		STORM INLET
		CONCRETE
		ASPHALT
		GRAVEL
		RIP RAP
		INLET SEDIMENT FILTER
		STRAW BALE FILTER
		FABRIC FILTER FENCE
		ELEVATION
		GRASS / LANDSCAPING
		CONIFEROUS TREE
		DECIDUOUS TREE
		SHRUBS
		BUMPER BLOCKS
		WELL
		REMOVAL

DATE
09/06/13
09/06/13
10/16/13

ISSUE/REVISIONS
ISSUED
ISSUED
ISSUED

COMMERCIAL DEVELOPMENT FOR
JEFF HEYN
NOVI, MICHIGAN

46035 GRAND RIVER AVE.

John Stewart
ARCHITECTS

1645 N. MILFORD RD. MILFORD, MICHIGAN 48381 248-665-0976

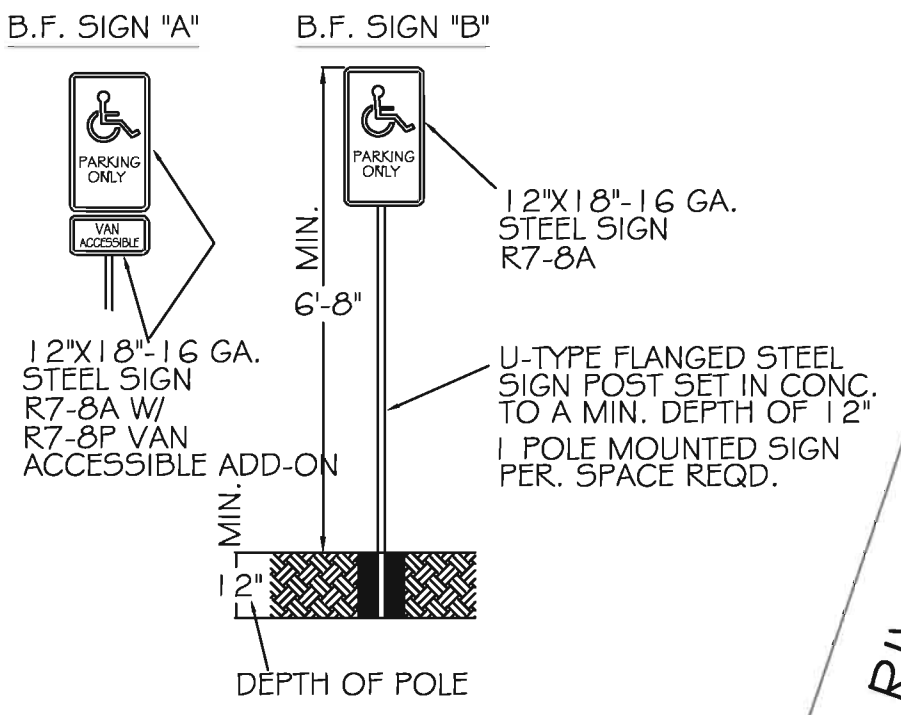
JOB NO.

SHEET
A-1

TAFT ROAD
 5 00 59'30" E (M.) 1326.31' (M.)
 EAST LINE OF SECTION 16
 5 00 59'30" W (M.) 1326.31' (M.)

- GENERAL NOTES:
- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 - DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF THE CURB OR SIDEWALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF THE CURB UNLESS OTHERWISE INDICATED.
 - ALL PARKING STALL ARE 19 FEET BY 9 FEET, UNLESS NOTED DIFFERENT.

TAFT ROAD
 5 00 59'30" W (M.) 1326.31' (M.)
 EAST LINE OF SECTION 16
 2679.87' (M.)
 EAST 1/4 CORNER SECTION 16
 T. 1 N., R. 8 E.,
 CITY OF NOVI
 FOUND 1/2" REROD W/ REMON CAP
 FOUND P/K W/ REMON TAG N.W. SIDE
 8" MAPLE - N.34E. 55.54'
 FOUND P/K W/ REMON TAG SOUTH SIDE
 10" CEDAR - S.89E. 41.79'
 FOUND P/K W/ REMON TAG NORTH SIDE
 POWER POLE - S.82E. 20.64'
 FOUND P/K W/ REMON TAG NORTH SIDE
 POWER POLE - S.86E. 27.25'

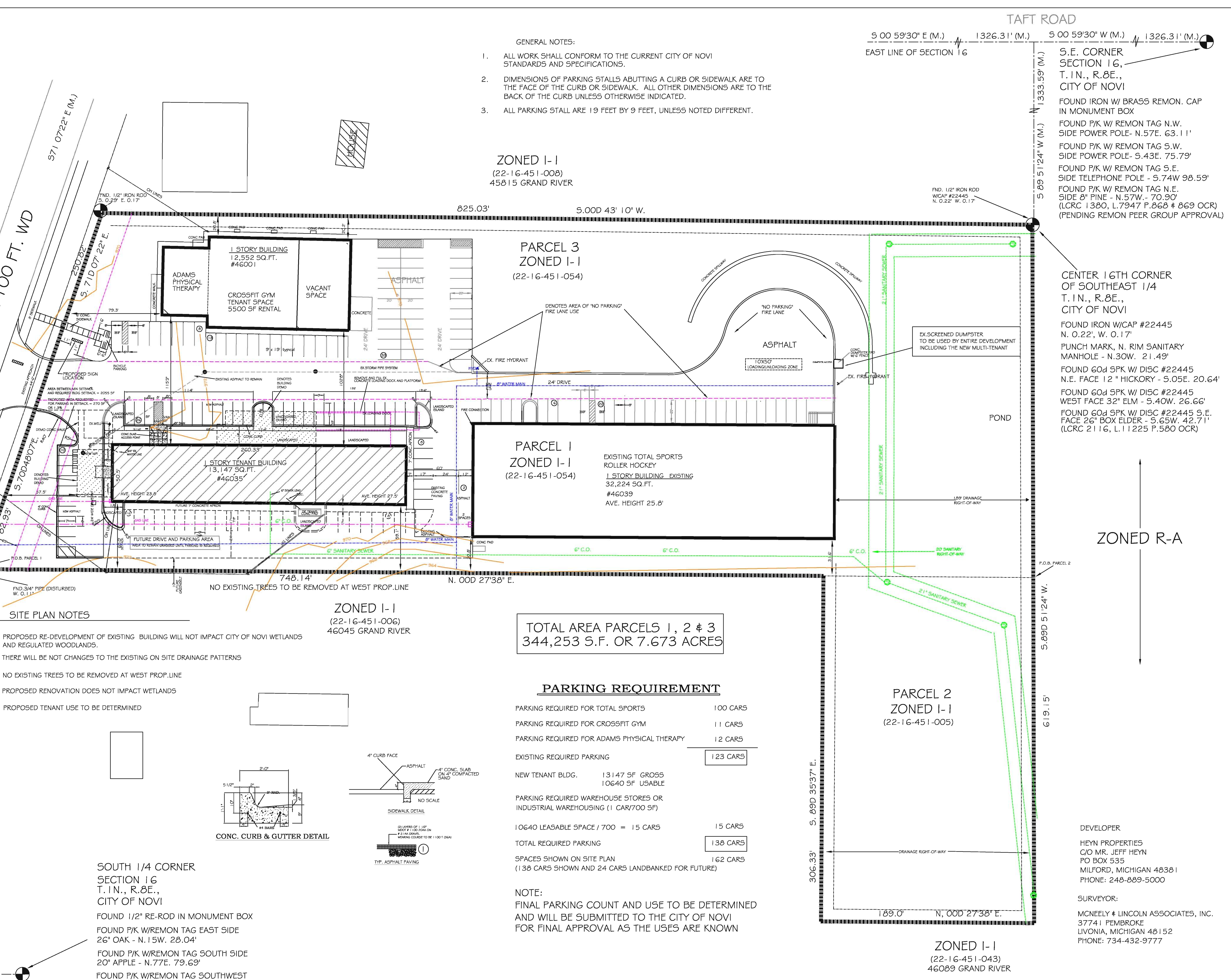


SIGN QUANTITY TABLE

SYMBOL	QUANTITY	TYPE
A	1	MMUTCD R7-8 W/ R7-8P VAN ACCESSIBLE
B	1	MMUTCD R7-8 BF PARKING SIGN

5 89 43'37" E (M.) 2679.87' (M.)
 EAST 1/4 CORNER SECTION 16
 T. 1 N., R. 8 E.,
 CITY OF NOVI
 FOUND 1/2" IRON ROD
 FENCE POST - S.05W. 28.78'
 CENTERLINE BOLT ON HYDRANT
 - S.58E. 89.52'
 FOUND P/K EASTERLY FACE
 POWER POLE - N.06E. 77.00'
 SOUTH EDGE OF ASPHALT
 PAVEMENT - NORTH 13.0'

5 00 26'46" E (M.) 2640.10' (M.)
 NORTH 1/4 CORNER SECTION 16
 T. 1 N., R. 8 E.,
 CITY OF NOVI
 FOUND 1/2" RE-ROD IN MONUMENT BOX
 FOUND P/K W/REMON TAG EAST SIDE
 26" OAK - N.15W. 28.04'
 FOUND P/K W/REMON TAG SOUTH SIDE
 20" APPLE - N.77E. 79.69'
 FOUND P/K W/REMON TAG SOUTHWEST
 SIDE 16" WALNUT - S.63E. 103.62'
 FOUND P/K W/REMON TAG EAST SIDE
 TELEPHONE POLE - S.01W. 32.07'
 (LCRC 2516, L12921 P.781 OCR)
 (PENDING REMON PEER GROUP APPROVAL)



- SITE PLAN NOTES**
- PROPOSED RE-DEVELOPMENT OF EXISTING BUILDING WILL NOT IMPACT CITY OF NOVI WETLANDS AND REGULATED WOODLANDS.
 - THERE WILL BE NOT CHANGES TO THE EXISTING ON SITE DRAINAGE PATTERNS
 - NO EXISTING TREES TO BE REMOVED AT WEST PROP.LINE
 - PROPOSED RENOVATION DOES NOT IMPACT WETLANDS
 - PROPOSED TENANT USE TO BE DETERMINED

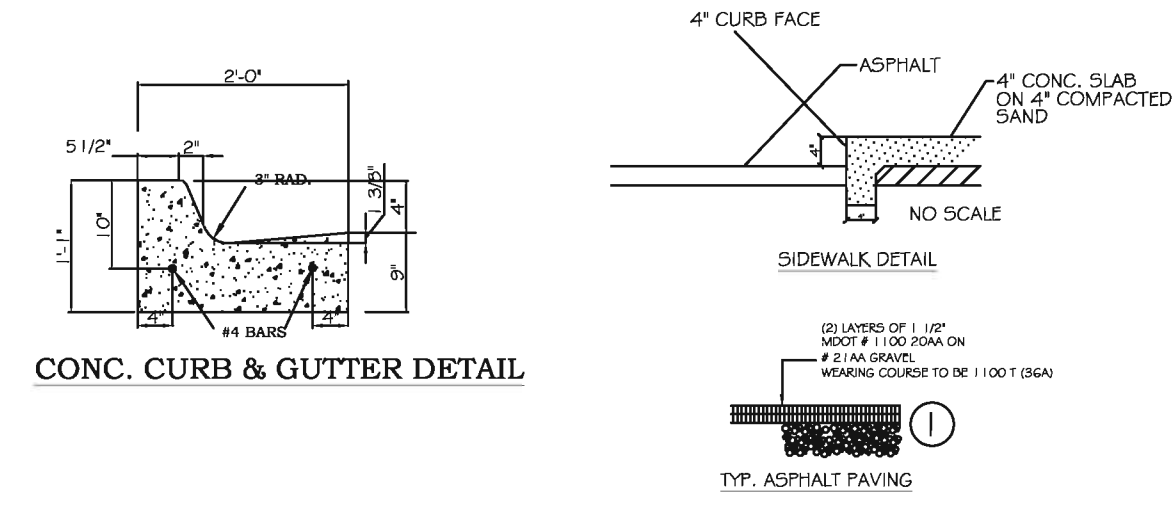
ZONED I-1
 (22-16-451-006)
 46045 GRAND RIVER

TOTAL AREA PARCELS 1, 2 & 3
 344,253 S.F. OR 7.673 ACRES

PARKING REQUIREMENT

PARKING REQUIRED FOR TOTAL SPORTS	100 CARS
PARKING REQUIRED FOR CROSSFIT GYM	11 CARS
PARKING REQUIRED FOR ADAMS PHYSICAL THERAPY	12 CARS
EXISTING REQUIRED PARKING	123 CARS
NEW TENANT BLDG.	13147 SF GROSS 10640 SF USABLE
PARKING REQUIRED WAREHOUSE STORES OR INDUSTRIAL WAREHOUSING (1 CAR/700 SF)	
10640 LEASABLE SPACE / 700 =	15 CARS
TOTAL REQUIRED PARKING	138 CARS
SPACES SHOWN ON SITE PLAN (138 CARS SHOWN AND 24 CARS LANDBANKED FOR FUTURE)	162 CARS

NOTE:
 FINAL PARKING COUNT AND USE TO BE DETERMINED AND WILL BE SUBMITTED TO THE CITY OF NOVI FOR FINAL APPROVAL AS THE USES ARE KNOWN



PARCEL 2
 ZONED I-1
 (22-16-451-005)
 10640 LEASABLE SPACE / 700 = 15 CARS
 TOTAL REQUIRED PARKING 138 CARS
 SPACES SHOWN ON SITE PLAN (138 CARS SHOWN AND 24 CARS LANDBANKED FOR FUTURE)

ZONED I-1
 (22-16-451-043)
 46089 GRAND RIVER

DEVELOPER
 HEYN PROPERTIES
 C/O MR. JEFF HEYN
 PO BOX 535
 MILFORD, MICHIGAN 48331
 PHONE: 248-889-5000

SURVEYOR:
 MCNEELY & LINCOLN ASSOCIATES, INC.
 37741 PEMBROKE
 LIVONIA, MICHIGAN 48152
 PHONE: 734-432-9777

PROPOSED MULTI-TENANT BUILDING

SCALE 1" = 40'

DATE
 7/25/13
 9/08/13
 10/16/13
 10/27/13
 11/05/13

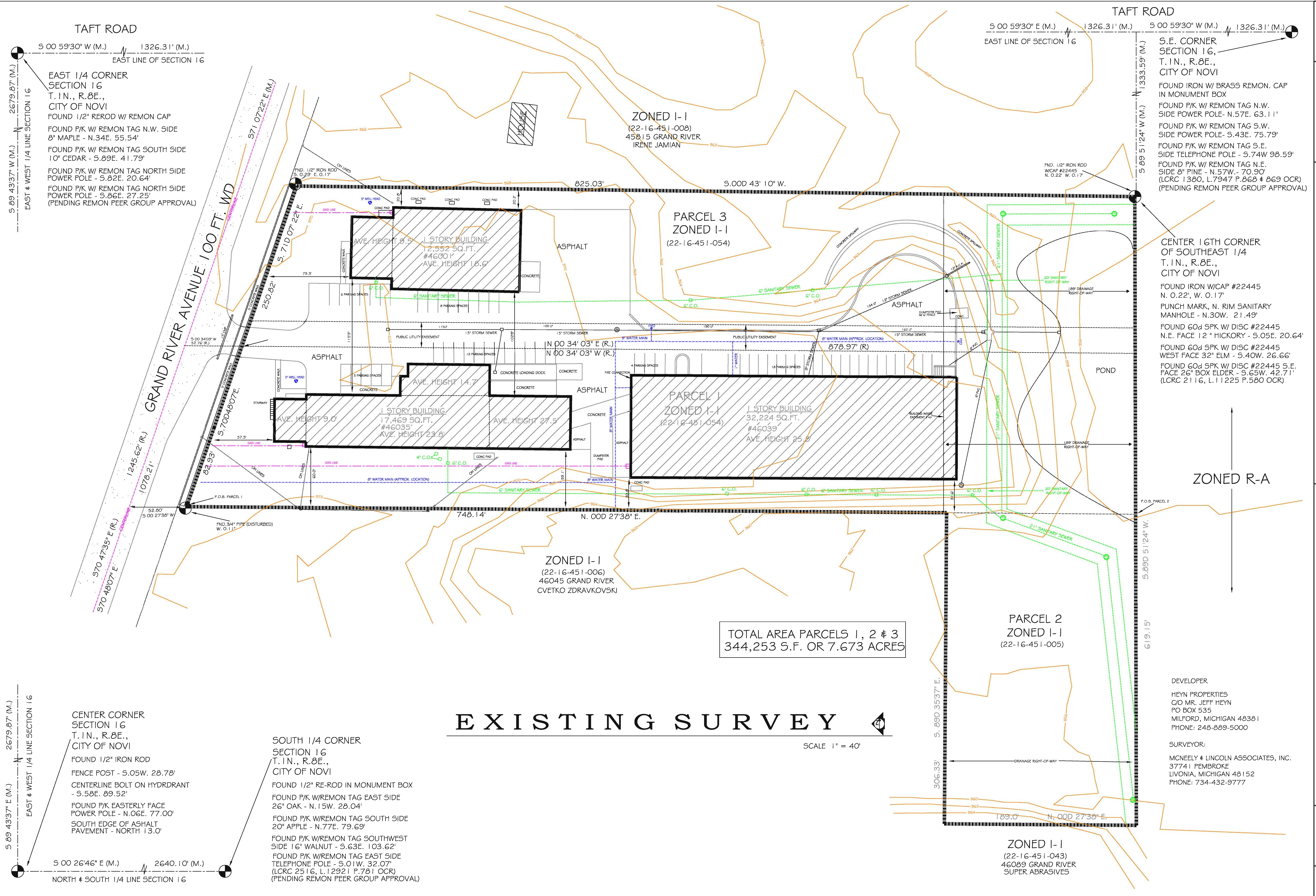
ISSUE/REVISIONS
 ISSUED
 ISSUED
 ISSUED
 SIGN
 ISSUE

COMMERCIAL DEVELOPMENT
 JEFF HEYN - DEVELOPER
 46035 GRAND RIVER AVE. NOVI, MICHIGAN

John Stewart
 ARCHITECTS
 1645 N. MILFORD RD. MILFORD, MICHIGAN 48331 248-665-0978

JOB NO.
 A-2

SHEET



EAST 1/4 CORNER SECTION 16
 T.1.N., R.8E., CITY OF NOVI
 FOUND 1/2" REROD W/ REMON CAP
 FOUND P/K W/ REMON TAG N.W. SIDE
 8" MAPLE - N.34E. 55.54'
 FOUND P/K W/ REMON TAG SOUTH SIDE
 10" CEDAR - S.89E. 41.79'
 FOUND P/K W/ REMON TAG NORTH SIDE
 POWER POLE - S.82E. 20.64'
 FOUND P/K W/ REMON TAG NORTH SIDE
 POWER POLE - S.86E. 27.25'
 (PENDING REMON PEER GROUP APPROVAL)

S.E. CORNER SECTION 16,
 T.1.N., R.8E., CITY OF NOVI
 FOUND IRON W/ BRASS REMON. CAP
 IN MONUMENT BOX
 FOUND P/K W/ REMON TAG N.W.
 SIDE POWER POLE - N.57E. 63.11'
 FOUND P/K W/ REMON TAG S.W.
 SIDE POWER POLE - S.43E. 75.79'
 FOUND P/K W/ REMON TAG S.E.
 SIDE TELEPHONE POLE - S.74W 98.59'
 FOUND P/K W/ REMON TAG N.E.
 SIDE 8" PINE - N.57W. - 70.90'
 (LCRC 1380, L.7947 P.868 & 869 OCR)
 (PENDING REMON PEER GROUP APPROVAL)

CENTER 1/4 CORNER OF SOUTHEAST 1/4
 T.1.N., R.8E., CITY OF NOVI
 FOUND IRON W/CAP #22445
 N. 0.22', W. 0.17'
 PUNCH MARK, N. RIM SANITARY
 MANHOLE - N.30W. 21.49'
 FOUND 60d SPK W/ DISC #22445
 N.E. FACE 12" HICKORY - S.05E. 20.64'
 FOUND 60d SPK W/ DISC #22445
 WEST FACE 32" ELM - S.40W. 26.66'
 FOUND 60d SPK W/ DISC #22445 S.E.
 FACE 26" BOX ELDER - S.65W. 42.71'
 (LCRC 2116, L.11225 P.580 OCR)

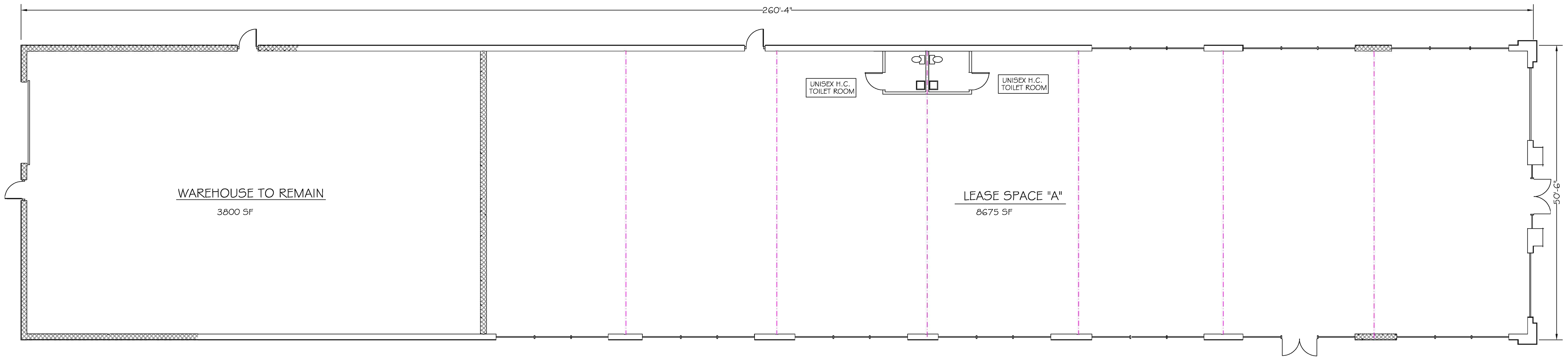
CENTER CORNER SECTION 16
 T.1.N., R.8E., CITY OF NOVI
 FOUND 1/2" IRON ROD
 FENCE POST - S.05W. 28.78'
 CENTERLINE BOLT ON HYDRANT
 - S.58E. 89.52'
 FOUND P/K EASTERLY FACE
 POWER POLE - N.06E. 77.00'
 SOUTH EDGE OF ASHALT
 PAVEMENT - NORTH 13.0'

SOUTH 1/4 CORNER SECTION 16
 T.1.N., R.8E., CITY OF NOVI
 FOUND 1/2" RE-ROD IN MONUMENT BOX
 FOUND P/K W/ REMON TAG EAST SIDE
 26" OAK - N.15W. 28.04'
 FOUND P/K W/ REMON TAG SOUTH SIDE
 20" APPLE - N.77E. 79.69'
 FOUND P/K W/ REMON TAG SOUTHWEST
 SIDE 16" WALNUT - S.63E. 103.62'
 FOUND P/K W/ REMON TAG EAST SIDE
 TELEPHONE POLE - S.01W. 32.07'
 (LCRC 2516, L.12921 P.781 OCR)
 (PENDING REMON PEER GROUP APPROVAL)

DEVELOPER
 HEYN PROPERTIES
 C/O MR. JEFF HEYN
 PO BOX 535
 MILFORD, MICHIGAN 48381
 PHONE: 248-889-5000

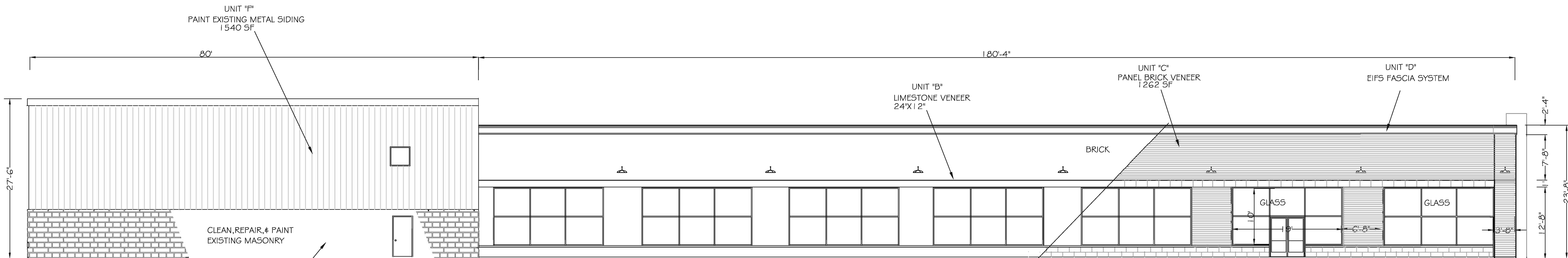
SURVEYOR:
 MCNEELY & LINCOLN ASSOCIATES, INC.
 37741 PEMBROKE
 LIVONIA, MICHIGAN 48152
 PHONE: 734-432-9777

DATE	08/06/13 09/06/13 10/16/13
ISSUE/REVISIONS	ISSUED ISSUED ISSUED
COMMERCIAL DEVELOPMENT FOR	JEFF HEYN
46001, 46035, 46039 GRAND RIVER	MICHIGAN
JOHN STEWART ARCHITECTS	1645 N. MILFORD RD., MILFORD, MICHIGAN 48381 248-685-0978
JOB NO.	
SHEET	A-3



FLOOR PLAN

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"

MATERIAL SCHEDULE 6460 SF @ EAST ELEVATION			
ITEM	MATERIAL / PRODUCT	SQ. FOOTAGE	PERCENT
A			
B	LIMESTONE VENEER 24"X12"	512	13
C	PANEL BRICK VENEER	2024	31
D	"EIFS" EXTERIOR INSULATED FINISHING SYSTEM	300	5
E			
F	PAINT EXISTING METAL SIDING	1540	24
G	EXISTING MASONRY	684	10

john stewart
ARCHITECTS

1645 N. MILFORD RD. MILFORD, MICHIGAN 48381 248-685-0978

COMMERCIAL DEVELOPMENT
JEFF HEYN - DEVELOPER

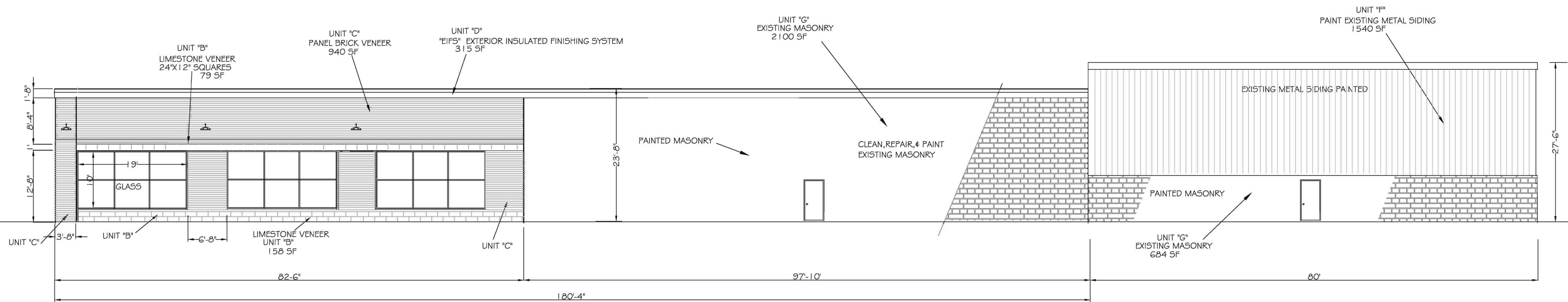
46035 GRAND RIVER AVE. NOVI, MICHIGAN

ISSUE/REVISIONS
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DATE
7/25/13
9/06/13
10/16/13
11/05/13

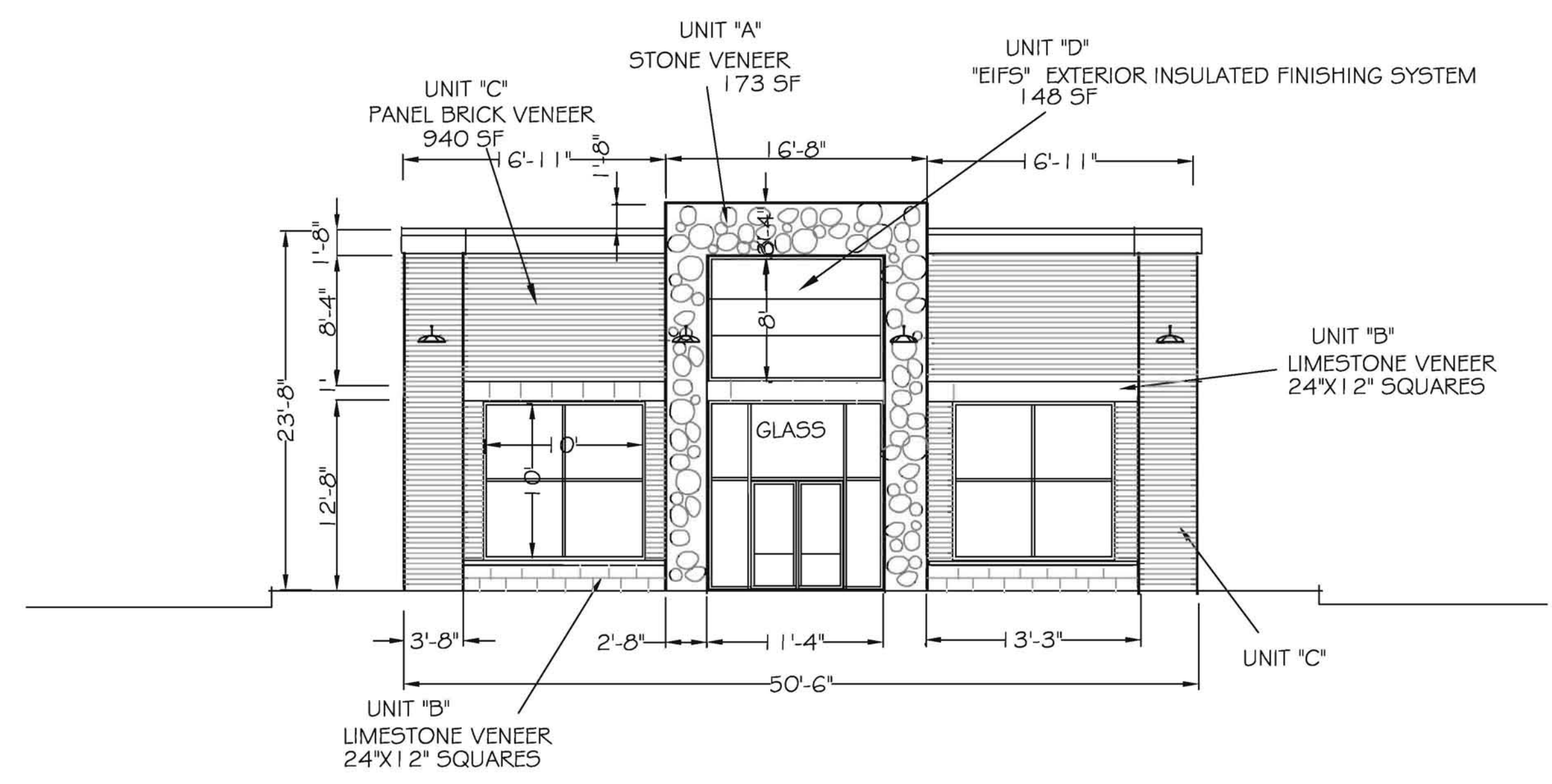
SHEET

A-4



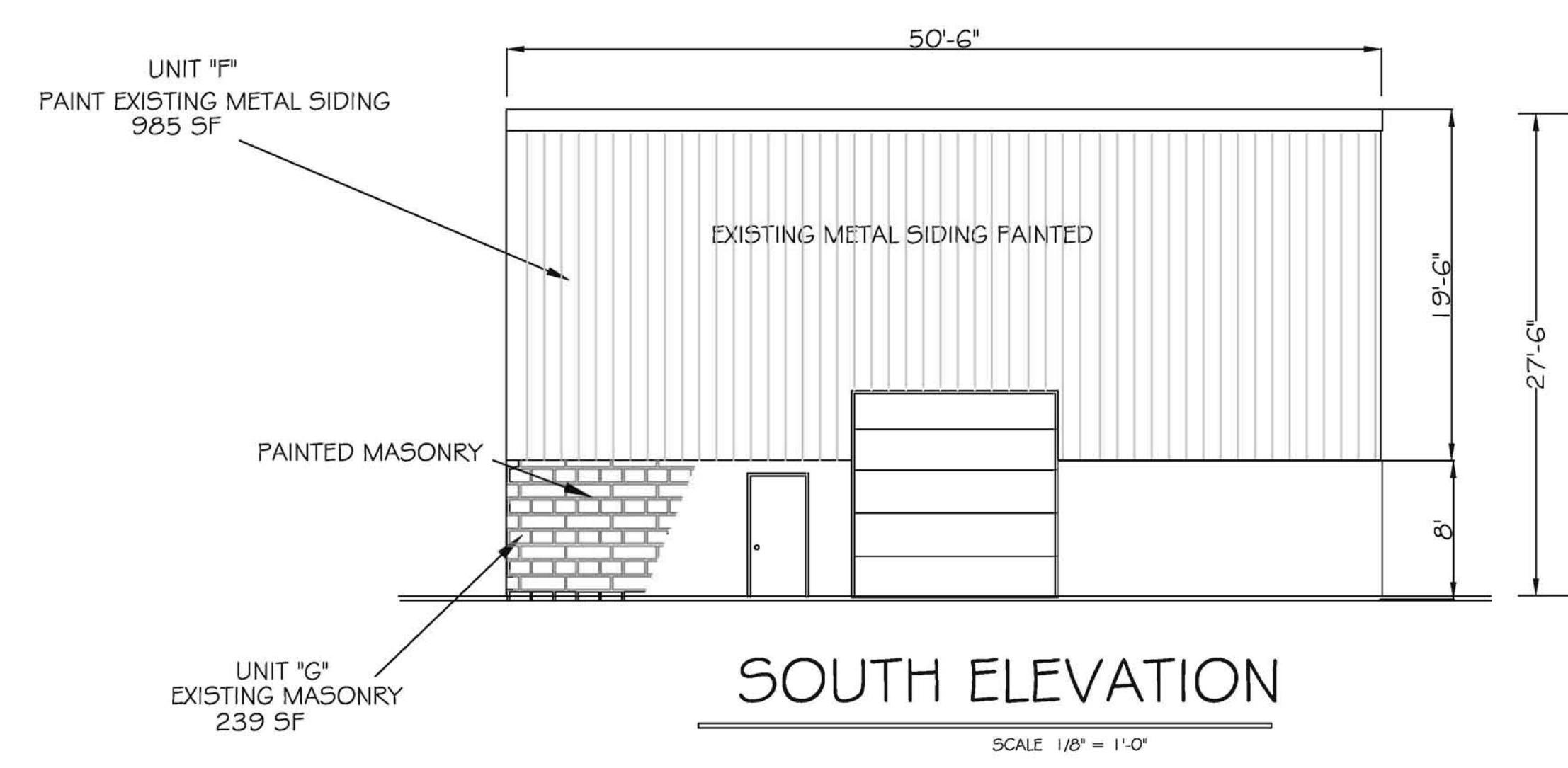
WEST ELEVATION
6460 SF SCALE 1/8" = 1'-0"

MATERIAL SCHEDULE 6460 SF @ WEST ELEVATION			
ITEM	MATERIAL / PRODUCT	SQ. FOOTAGE	PERCENT
B	LIMESTONE VENEER 24"X12"	237	3.6
C	PANEL BRICK VENEER	940	14.5
D	"EIFS" EXTERIOR INSULATED FINISHING SYSTEM	315	5
F	PAINT EXISTING METAL SIDING	1540	24
G	EXISTING MASONRY	2784	43



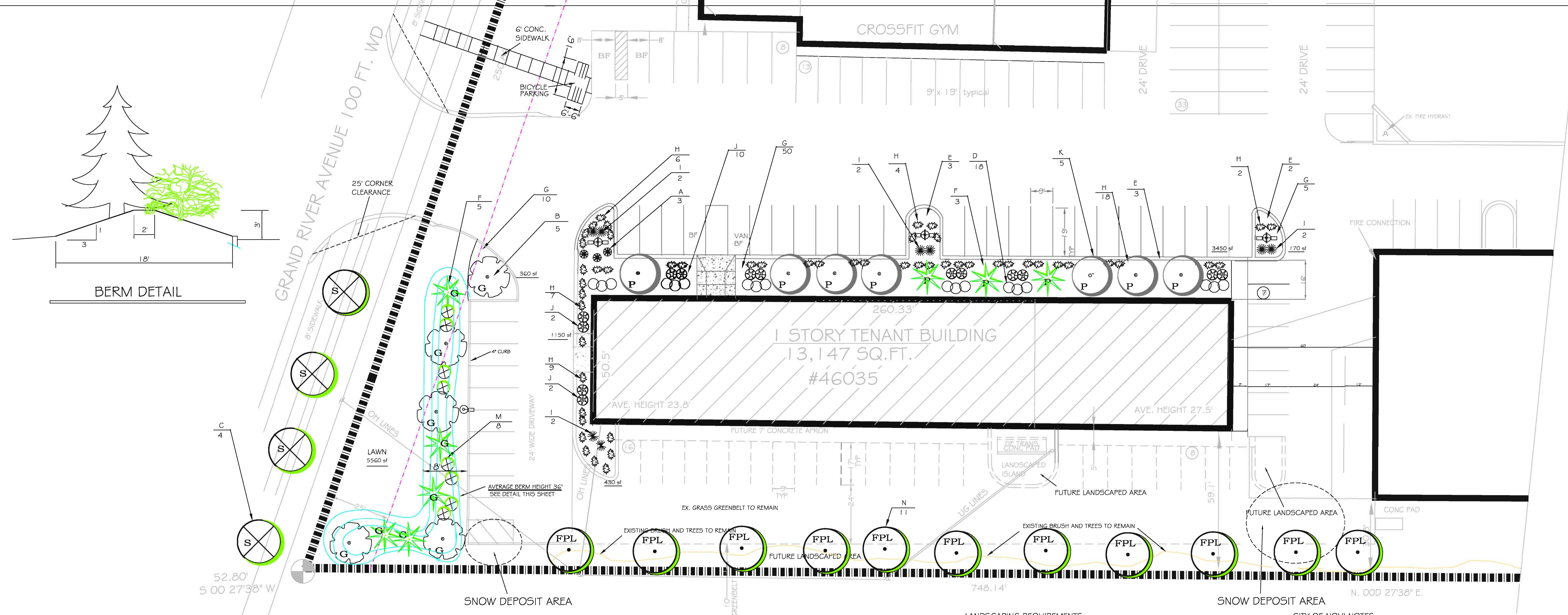
NORTH ELEVATION
SCALE 1/8" = 1'-0"

MATERIAL SCHEDULE 1223 SF @ NORTH ELEVATION			
ITEM	MATERIAL / PRODUCT	SQ. FOOTAGE	PERCENT
A	DECORATIVE SPLIT STONE VENEER	173	14
B	LIMESTONE VENEER 24"X12"	90	7
C	PANEL BRICK VENEER	447	37
D	"EIFS" EXTERIOR INSULATED FINISHING SYSTEM	146	12



SOUTH ELEVATION
SCALE 1/8" = 1'-0"

MATERIAL SCHEDULE 1388 SF @ SOUTH ELEVATION			
ITEM	MATERIAL / PRODUCT	SQ. FOOTAGE	PERCENT
A	DECORATIVE SPLIT STONE VENEER		
B	LIMESTONE VENEER 24"X12"		
C	PANEL BRICK VENEER		
D	"EIFS" EXTERIOR INSULATED FINISHING SYSTEM	50.5	3
F	PAINT EXISTING METAL SIDING	985	70
G	EXISTING MASONRY	239	17



LANDSCAPE INFORMATION

EXISTING ZONING	I-1
PARKING LOT LANDSCAPING	
PARKING SPACE AREA	8664 SF
VEHICULAR USE AREA	3600 SF
PARKING LOT LANDSCAPING REQUIRED	672 SF
8664 SF x 7% = 606 sf	
3600 SF x 2% = 72 sf	
PARKING LOT LANDSCAPING SHOWN	
CANOPY TREES REQUIRED	678 SF / 75 = 9 TREES
CANOPY TREES PROVIDED	10
BUILDING FOUNDATION LANDSCAPING	
BUILDING PERIMETER	620 LF
LANDSCAPE AREA REQUIRED	620 LF X 8' = 4960 SF
LANDSCAPED AREA PROVIDED	5200 SF
FUTURE AT WEST SIDE PROPERTY	750 SF
GREENBELT PLANTINGS	
STREET FRONTAGE AT #46035 (FROM CENTERLINE OF DRIVE TO WEST PROPERTY LINE)	175 LF
TREE REQUIRED 175 LF / 40	5 TREES REQUIRED
SUB CANOPY TREES REQUIRED 175 LF/35	5 TREES REQUIRED
STREET LAWN	
STREET FRONTAGE AT #46035 (FROM CENTERLINE OF DRIVE TO WEST PROPERTY LINE)	175 LF
TREE REQUIRED 175 LF / 55'	4 TREES REQUIRED
FUTURE PERIMETER CANOPY TREE	
PARKING & ACCESS FOOTAGE	360 LF
TREE REQUIRED 360 LF / 35'	11 TREES REQUIRED

MK	QTY. PROVIDED	COMMON NAME	SIZE	ROOT	COST	TOTAL
"A"	3	COLUMNARIS JUNIPER	4' - 5' H	B # B	50	150
"B"	5	BRADFORD PEAR	3" CAL.	B # B	325	1625
"C"	4	HEDGE MAPLE	3" CAL.	B # B	400	1600
"D"	18	BURNING BUSH	30" - 36" H	B # B	50	900
"E"	8	HOSTA "ROYAL" STANDARD	#1 CONTAINER		15	120
"F"	8	CONCOLOR FIR	7/8 FOOT	B # B	325	2600
"G"	65	BLUE OAT GRASS	#1 CONTAINER		15	975
"H"	52	DENSE YEW ("Densiformis)	24"	B # B	50	2600
"I"	8	FOREVER PINK HYDRANGEA	20"	5 GAL.	15	120
"J"	14	DWARF KOREAN LILAC	#5 CONTAINER		50	700
"K"	7	CRABAPPLE "SNOWDRIFT"	2" CAL.	B # B	250	1750
"M"	8	HATFIELD YEW	18" - 24" H	5 GAL.	50	400
FUTURE	11	RIVER BIRCH	3" CAL.	B # B	400	
PLANT MATERIAL TOTAL						13,540
60 YDS. WOOD MULCH @ 40/YD						2400
KENTUCKY BLUE GRASS @ 3/5Y						1950
LANDSCAPING BUDGET						17,890

LANDSCAPING REQUIREMENTS

- The work shall consist of providing all necessary materials, labor, warrants, equipment, tools and supervision required for the completion as shown on the drawings.
- The plant materials shall conform to type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the "A.A.N." Standards for nursery stock.
- The plant material shall be nursery grown and inspected by the owners representative before planting. The owners representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- The contractor is responsible for planting the material at the correct grades and spacing. The plants shall be oriented so as to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with a topsoil mixture, gradually filling, patting and settling with water.
- All plant materials shall be pruned and injured repaired. The amount of pruning shall be limited to the removal of dead or injured twigs and to compensate for the loss of roots from transplanting. Cuts shall be flush, leaving no stubs. Cuts over 1" shall be painted with tree paint.
- The contractor agrees to guarantee all the plant material for the period of one year. At that time the owners representative reserves the right for a final inspection. Plant material with 25% die back, as determined by the owners representative shall be replaced. This guarantee includes the furnishing of new plants, labor and materials. These new plants shall also be guaranteed for the period of one year.
- Topsoil shall be friable, fertile topsoil of clay loam character containing at least 5%, but not more than 20% by weight of organic matter with a PH range from 6.0 to 7.0. Soil shall be free from clay lumps, coarse sand, plant roots, sticks and other foreign materials.
- Seed mix shall consist of the following types and proportions:
Kentucky Blue Grass 60%
Chewing Fescue 15%
Creeping Red Fescue 15%
Perennial Rye Grass 10%
- Sod shall be two year old "Baron/Chenadelp'h" Kentucky Blue Grass grown in a sod nursery on loam soil.
- The contractor shall verify all rights of way, property lines and limits of work etc. prior to commencing work.
- The contractor shall be responsible for the contacting and coordination with all pertinent utility companies 72 hours in advance of any digging to make himself familiar with all underground utilities, pipes and structures. The contractor shall take sole responsibility for any cost incurred due to damages of utilities.
- The contractor not willfully proceed with construction as designed when it is obvious.
- The contractor shall verify all rights of way, easements, property lines and limits of work that unknown obstructions and/or grade differences exist. Such conditions shall be immediately brought to the attention of the owners representative or landscape architect. The contractor will assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the owners representative. Failure to make such discrepancies known will result in contractors responsibility and liability for any changes and additional cost.
- The contractor to verify percolation of all planting pits prior to installation of plant materials.

CITY OF NOVI NOTES

- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All proposed landscape islands shall be irrigated.
- Overhead utility lines and service poles to be relocated as directed by utility companies of record if required.
- Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two years after City approval, and shall be installed and maintained according to City of Novi standards. Replace failing material during the next appropriate planting period.
- All proposed street trees shall be planted a minimum of 4' from both the back of curbs and walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to maintain depth of 4". All lawn area trees shall have a minimum 4" diameter circle of shredded hardwood mulch 3' away from trunk. All perennial annual and ground cover beds shall receive 2" of colored bark mulch as shown on plan. Mulch is to be free from debris and foreign material and shall contain no pieces of inconsistent size.
- Any substitutions from the landscape plan must be approved by Architect and City of Novi prior to installation.

GENERAL NOTES

- The approximate date of landscaping installation will be spring of 2014.
- Site will be maintained by the developer in accordance with the standards set forth in the City of Novi Zoning ordinance. This includes weeding and watering as required by normal maintenance practices.
- Site will be maintained by the developer in accordance with the standards set forth in the City of Novi Zoning ordinance. This includes weeding and watering as required by normal maintenance practices.
- Developer shall be responsible for replacing any trees within the utilities easements that are damaged through normal maintenance or repairs.
- Plant materials shall be guaranteed for 2 years and shall be maintained in accordance with City ordinances. Watering as necessary shall occur during his warranty period.



LANDSCAPING PLAN

SCALE 1" = 20'

DATE: 08/05/13
ISSUED: 08/06/13
10/16/13

ISSUE/REVISIONS
ISSUED
ISSUED
ISSUED

COMMERCIAL DEVELOPMENT FOR
JEFF HEYN

NOVI, MICHIGAN

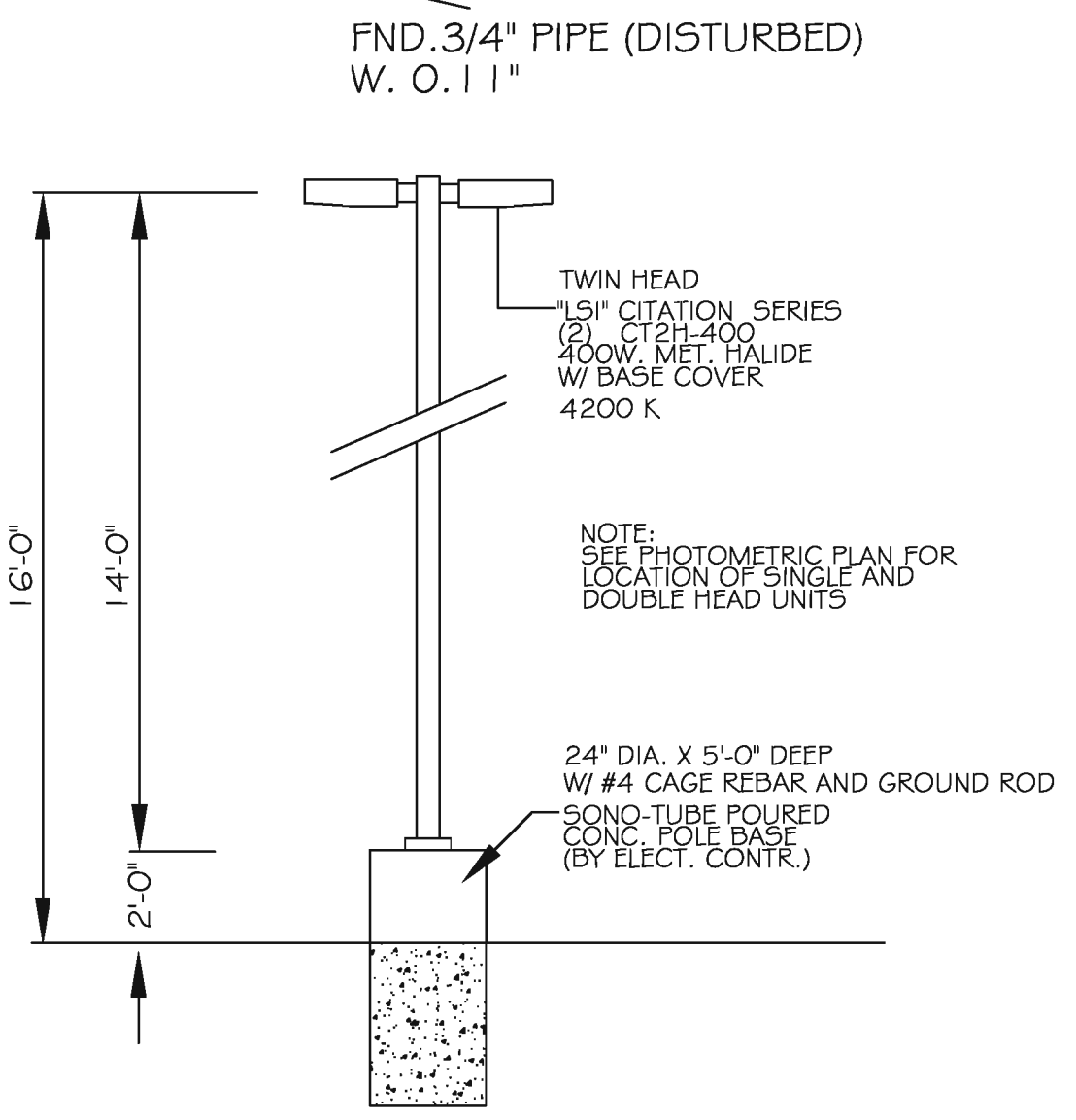
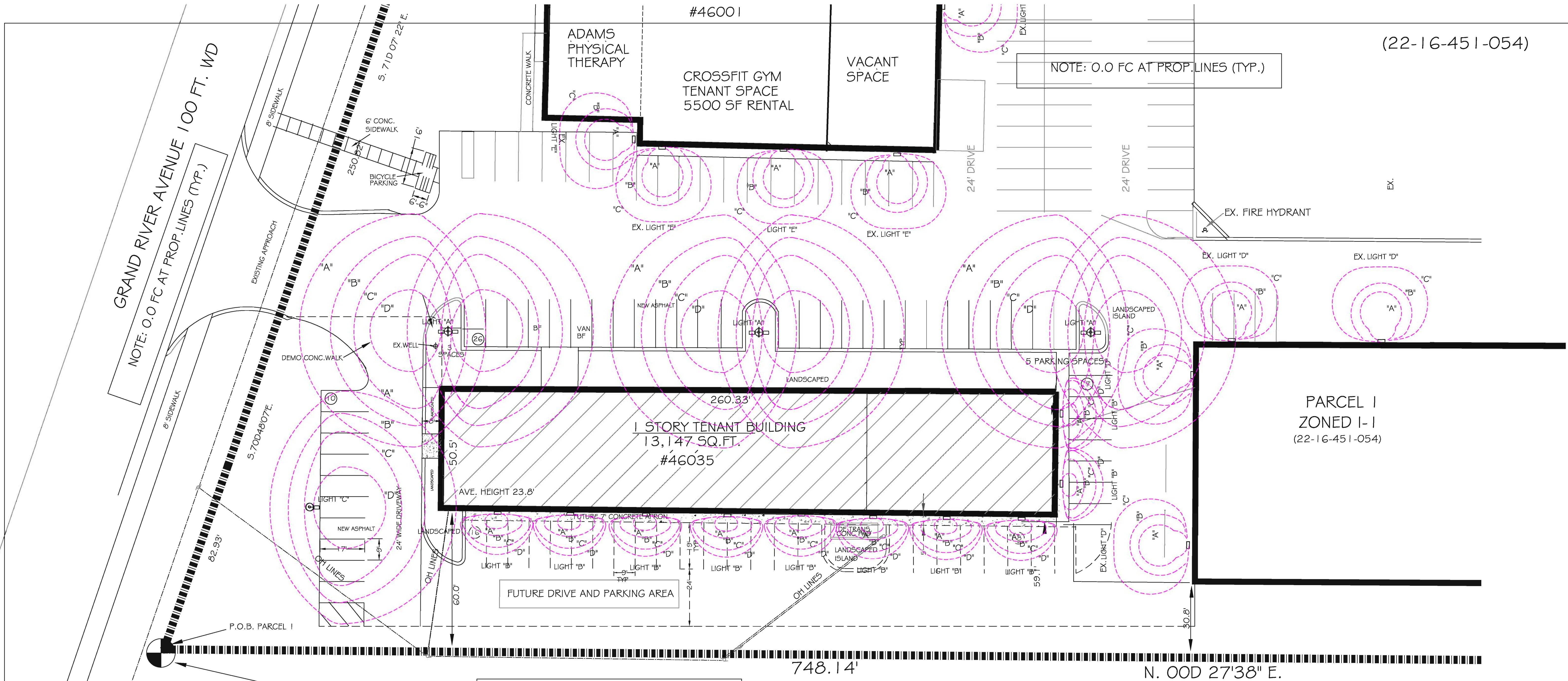
46035 GRAND RIVER AVE.

John Stewart
ARCHITECTS

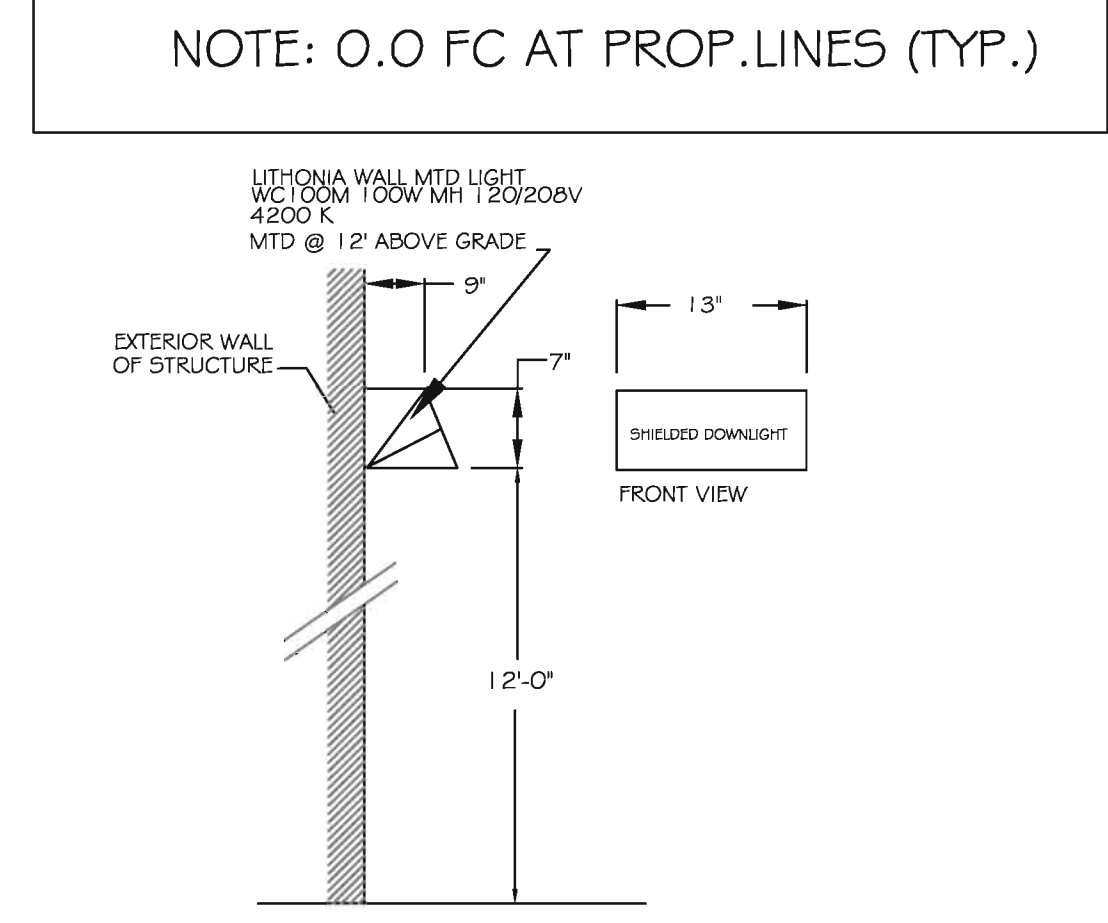
1645 N. MILFORD RD., MILFORD, MICHIGAN 48361 248-685-0978

JOB NO. A-6

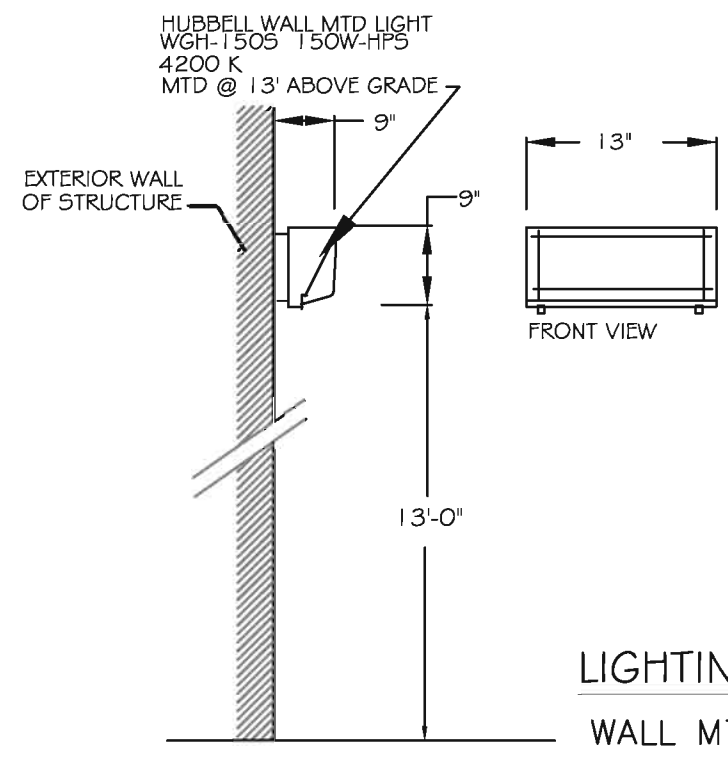
SHEET



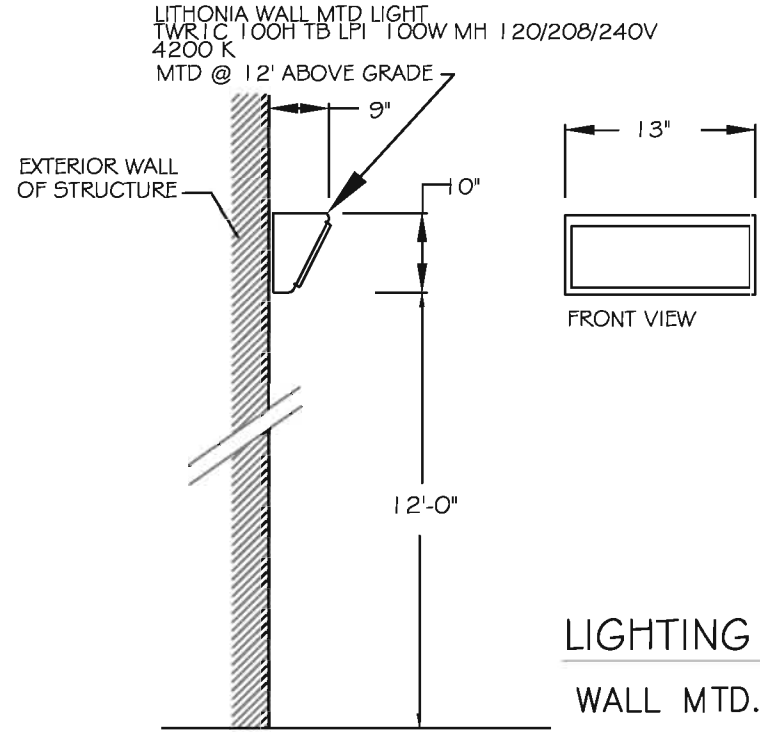
LIGHT POLE DETAIL "A" TWIN HEAD
LIGHT POLE DETAIL "C" SINGLE HEAD
LIGHTING CONFIGURATION- LIGHT "A"
POLE MTD. @ 16'-0" - SINGLE LAMP
A - 3.7 FOOT CANDLES
B - 2.4 FOOT CANDLES
C - 1.0 FOOT CANDLES
D - .5 FOOT CANDLES



LIGHTING CONFIGURATION- LIGHT "B"
WALL MTD. @ 12'-0" - SINGLE LAMP
A - 5.0 FOOT CANDLES
B - 2.0 FOOT CANDLES
C - 1.0 FOOT CANDLES
D - .5 FOOT CANDLES



LIGHTING CONFIGURATION- LIGHT "D"
WALL MTD. @ 13'-0" - SINGLE LAMP
A - 2.0 FOOT CANDLES
B - 1.0 FOOT CANDLES
C - .5 FOOT CANDLES



LIGHTING CONFIGURATION- LIGHT "E"
WALL MTD. @ 12'-0" - SINGLE LAMP
A - 2.0 FOOT CANDLES
B - 1.0 FOOT CANDLES
C - .5 FOOT CANDLES

HOURS OF OPERATION: 8 A.M. - 10 P.M.

ALL EXTERIOR LIGHTS SHALL BE CONTROLLED BY A TIME CLOCK. PARKING LOT LIGHTS SHALL BE TURNED OFF 1/2 HOUR AFTER CLOSING. AND RE-LIGHT 1/2 HOUR PRIOR TO OPENING



SITE LIGHTING PLAN

SCALE 1" = 20'



(22-16-451-008)
45815 GRAND RIVER

825.03'

DATE
08/05/13
09/06/13
11/05/13

ISSUE/REVISIONS
ISSUED
ISSUED
ISSUED

COMMERCIAL DEVELOPMENT FOR
JEFF HEYN
NOVI, MICHIGAN

46035 GRAND RIVER AVE.

John Stewart
ARCHITECTS
1645 N. MILFORD RD., MILFORD, MICHIGAN 48361 248-685-0978

JOB NO.

SHEET
C-1

GRAND RIVER AVENUE 100 FT. WD

(22-16-451-054)

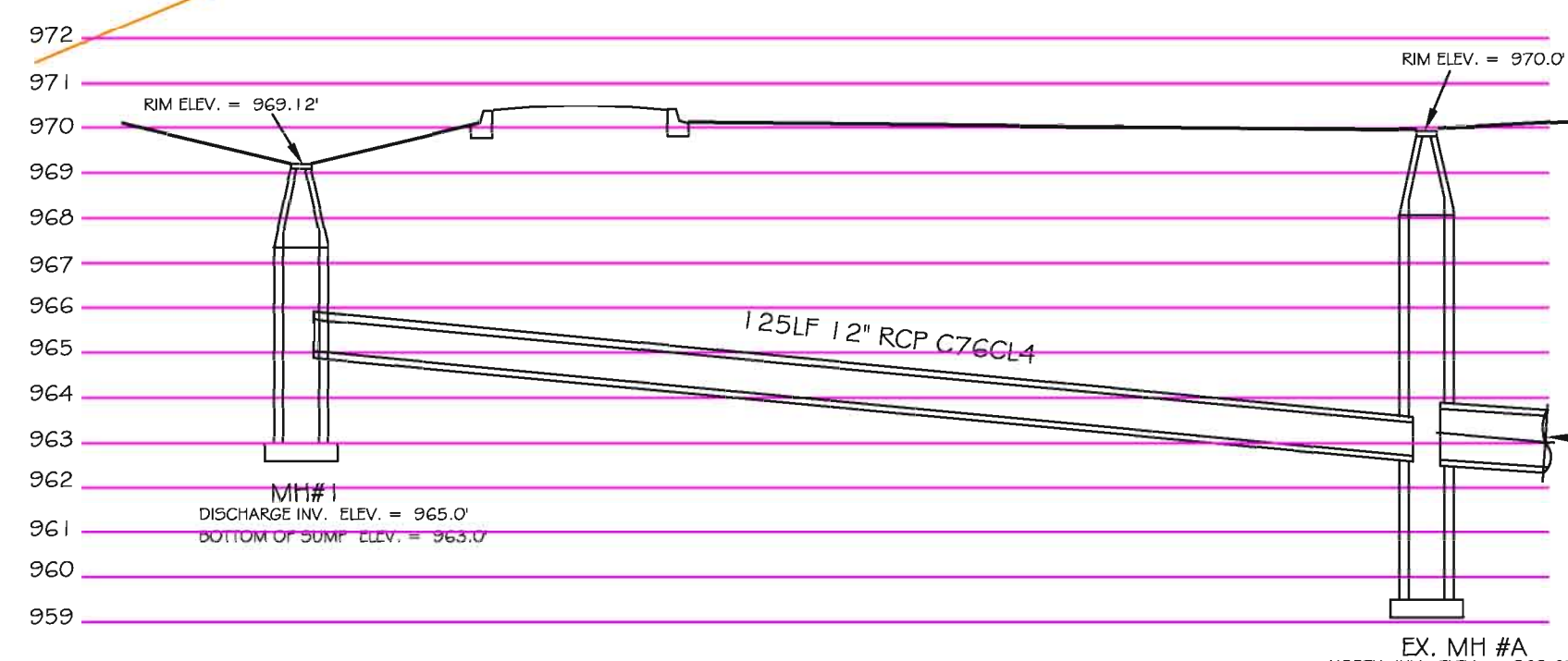
PARCEL 1
ZONED I-1
(22-16-451-054)
EX. F.F. EL. = 970.33

1 STORY BUILDING
12,552 SQ.FT.
#46001
ADAMS PHYSICAL THERAPY
CROSSFIT GYM
TENANT SPACE
5500 SF RENTAL
EX. F.F. EL. = 970.60
VACANT SPACE

1 STORY TENANT BUILDING
13,147 SQ.FT.
#46035
EX. F.F. EL. = 970.7

AREA BETWEEN MIN SETBACK
AND REQUIRED BLDG SETBACK = 2055 SF
PROPOSED AREA REQUESTED
FOR PARKING IN SETBACK = 270 SF
OR 1.3%

M.H. #1 NEW 48" MANHOLE
RIM ELEV. = 969.12'
DISCHARGE INV. ELEV. = 965.0'
BOTTOM OF SUMP ELEV. = 963.0'



STORM WATER PROFILE

SITE COSTS SUMMARY

SITE DEMO. # SAWCUTTING		BID	3500.00
EXCAVATION & GRADING		BID	4800.00
SAND FILL AND PLACEMENT	170 C.Y. SAND	\$12.50/CY IN PLACE	2125.00
ASPHALT PAVING	10,200 SF	\$3.55/SF	36,210.00
STORM PIPING	125 LF - 12" RCP	25.00/LF	3125.00
48" MANHOLE	1 REQUIRED	1100	1100.00
CONCRETE CURBING	728 LF	\$16.00/LF	11,648.00
CONCRETE FLATWORK	1360 SF	\$5.00/SF	6800.00
			69,308.00

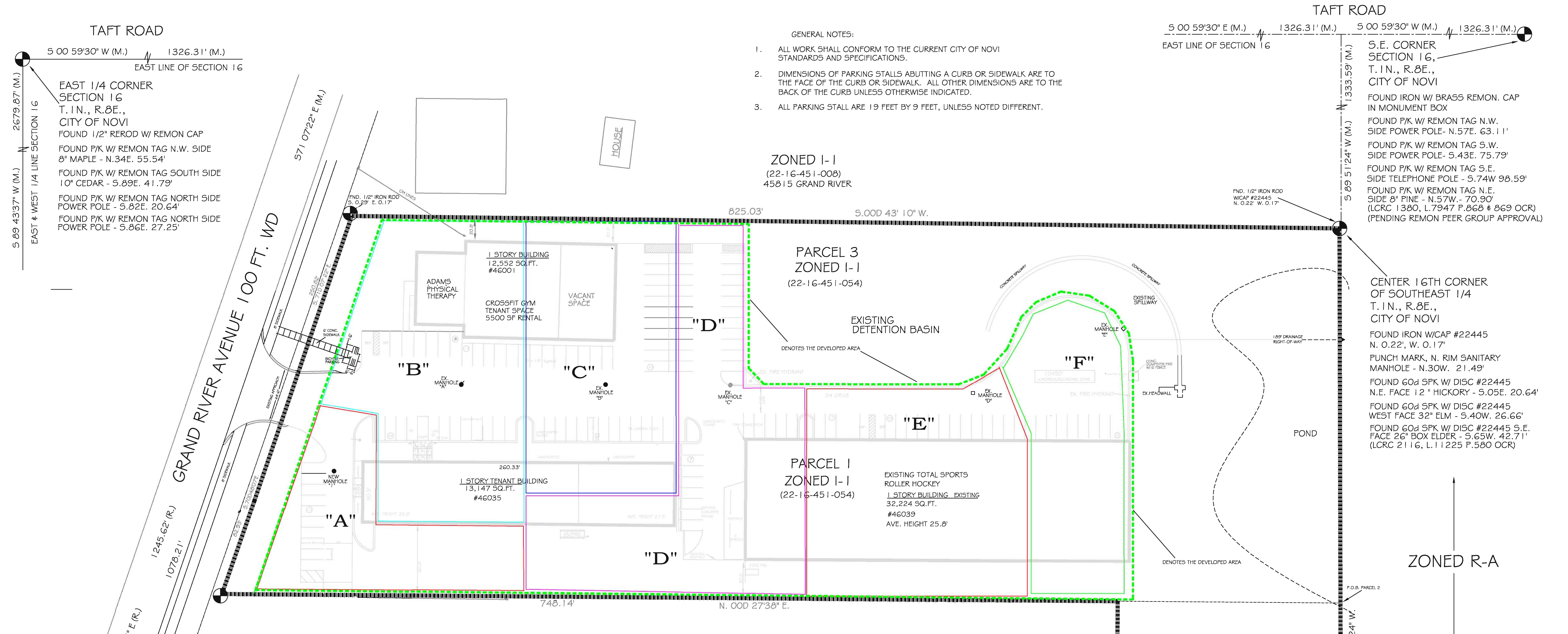
GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
2. DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF THE CURB OR SIDEWALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF THE CURB UNLESS OTHERWISE INDICATED. ALL RADIUS SHOWN ARE TO BACK OF CURB
3. ALL PARKING STALL ARE 19 FEET BY 9 FEET, UNLESS NOTED DIFFERENT.
4. ALL WORK IN THE ROAD R.O.W. REQUIRES AT REVIEW AND PERMIT FOR THE OAKLAND COUNTY ROAD COMMISSION



PAVING PLAN

SCALE 1" = 20'



- GENERAL NOTES:
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 2. DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF THE CURB OR SIDEWALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF THE CURB UNLESS OTHERWISE INDICATED.
 3. ALL PARKING STALL ARE 19 FEET BY 9 FEET, UNLESS NOTED DIFFERENT.

TAFT ROAD
 5 00 59'30" E (M.) 1326.31' (M.) 5 00 59'30" W (M.) 1326.31' (M.)
 EAST LINE OF SECTION 16

TAFT ROAD
 5 00 59'30" W (M.) 1326.31' (M.)
 EAST LINE OF SECTION 16

EAST 1/4 CORNER SECTION 16
 T. 1 N., R. 8 E.,
 CITY OF NOVI
 FOUND 1/2" REROD W/ REMON CAP
 FOUND P/K W/ REMON TAG N.W. SIDE
 8" MAPLE - N.34E. 55.54'
 FOUND P/K W/ REMON TAG SOUTH SIDE
 10" CEDAR - S.89E. 41.79'
 FOUND P/K W/ REMON TAG NORTH SIDE
 POWER POLE - S.82E. 20.64'
 FOUND P/K W/ REMON TAG NORTH SIDE
 POWER POLE - S.86E. 27.25'

S.E. CORNER SECTION 16,
 T. 1 N., R. 8 E.,
 CITY OF NOVI
 FOUND IRON W/ BRASS REMON. CAP
 IN MONUMENT BOX
 FOUND P/K W/ REMON TAG N.W.
 SIDE POWER POLE- N.57E. 63.11'
 FOUND P/K W/ REMON TAG S.W.
 SIDE POWER POLE- S.43E. 75.79'
 FOUND P/K W/ REMON TAG S.E.
 SIDE TELEPHONE POLE - S.74W 98.59'
 FOUND P/K W/ REMON TAG N.E.
 SIDE 8" PINE - N.57W.- 70.90'
 (LCRC 1380, L.7947 P.868 & 869 OCR)
 (PENDING REMON FEER GROUP APPROVAL)

CENTER 1/4TH CORNER
 OF SOUTHEAST 1/4
 T. 1 N., R. 8 E.,
 CITY OF NOVI
 FOUND IRON W/CAP #22445
 N. 0.22', W. 0.17'
 PUNCH MARK, N. RIM SANITARY
 MANHOLE - N.30W. 21.49'
 FOUND 60d SPK W/ DISC #22445
 N.E. FACE 12" HICKORY - S.05E. 20.64'
 FOUND 60d SPK W/ DISC #22445
 WEST FACE 32" ELM - S.40W. 26.66'
 FOUND 60d SPK W/ DISC #22445 S.E.
 FACE 26" BOX ELDER - S.65W. 42.711'
 (LCRC 2116, L.11225 P.580 OCR)

DATE
 7/25/13
 9/06/13

ISSUE/REVISIONS
 ISSUED
 ISSUED

COMMERCIAL DEVELOPMENT
 JEFF HEYN - DEVELOPER
 46035 GRAND RIVER AVE. NOVI, MICHIGAN

Q_a = .15 C.F.S. ALLOWABLE RUNOFF
 OR
 3.86 ACRES X .15 CFS (ALLOWABLE) = .58 CFS FOR THE DEVELOPED SITE

$C_D = \frac{3.03A}{3.86A} = .78$
 (COEFFICIENT FOR THE DEVELOPED AREA)

$Q_D = \frac{Q_A}{A X C_D} = \frac{.58 CFS}{3.86 A X .78} = .19$
 (RUNOFF FOR THE DEVELOPED AREA)

MANNING FORMULA (10 YEAR STORM)

$T = .25 + \sqrt{\frac{6562.5}{.19}} = 160.85 \text{ MIN}$

$V_s = \frac{10,500 (160.85)}{25 + 160.85} = 40 (19) (160.85) = 7865.11 \text{ CF}$

$V_t = V_s \times A \times C_D$

TOTAL V = 7865.11 (3.86 (.78)) = 23,680 CF

VOLUME OF POND (REGIONAL RETENTION BASIN) ON SITE

AREA AT FLOOR OF POND ELEV 956.00 = 24,000 SQ.FT
 ELEV. TO DISCHARGE PIPE = 958.00
 AVERAGE DEPTH TO BOTTOM OF FREEBOARD 1'-0"
 VOLUME OF POND ASSUMING 1'-0" DEPTH = 24,000 CF
 REQUIRED WATER STORAGE = 23,680 CF

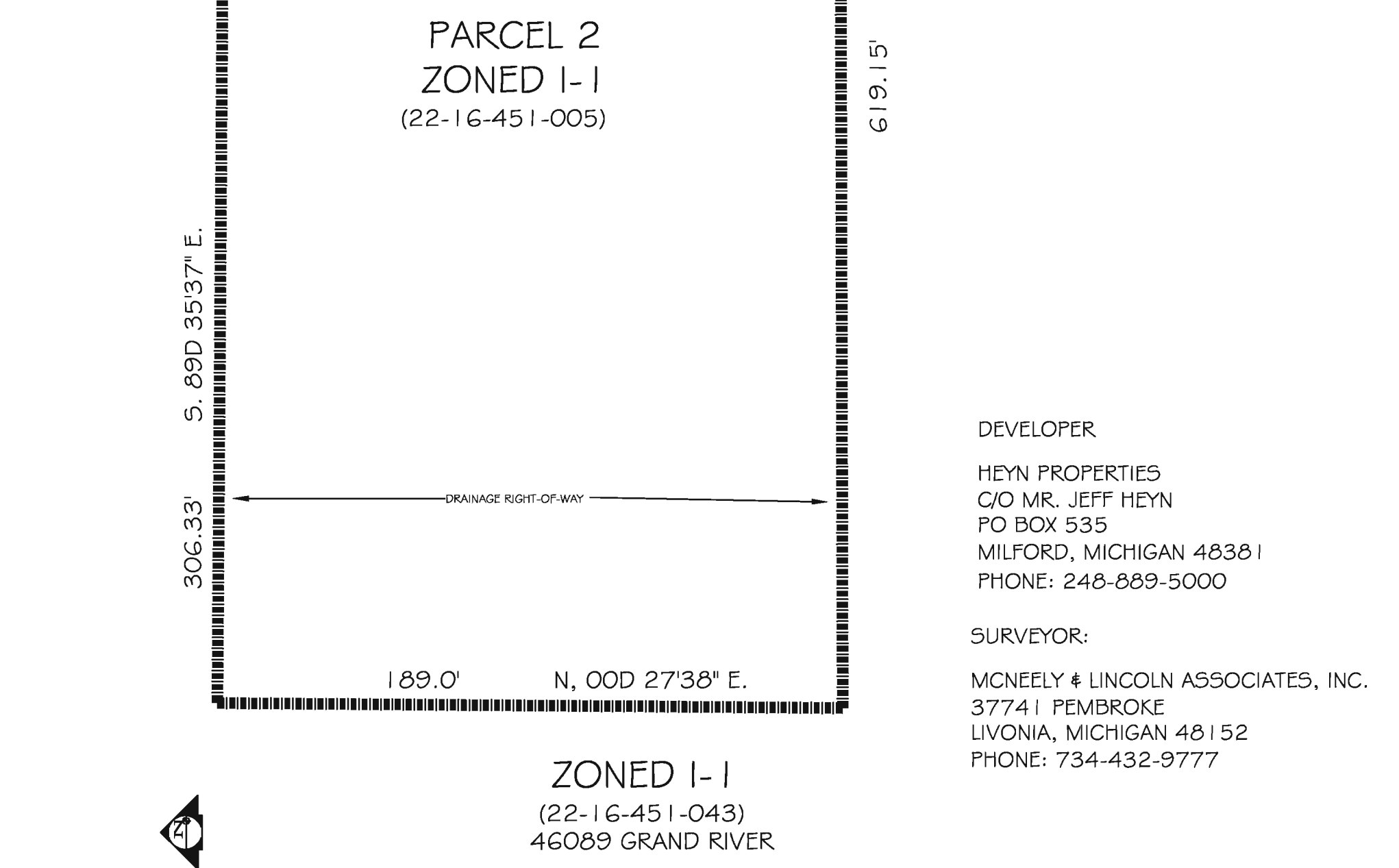
EXISTING RETENTION BASIN

NOTE:
 NEW NORTH PARKING AREA TO TIE INTO THE STORM SYSTEM AND REGIONAL RETENTION BASIN AND FOREBAY AS DESIGNED PREVIOUSLY BY CITY OF NOVI. ALL RECORDS REGARDING THE STORM FLOWS AND CAPACITIES ARE ON FILE WITH THE CITY OF NOVI.
 THE NEW DESIGN WILL NOT IMPACT THE EXISTING DESIGN. WITH THE REDUCTION IN HARD SURFACED AREAS (BUILDINGS, CONCRETE, ASPHALT, LOADING DOCKS) AND REPLACEMENT WITH PLANTING AREAS, THE NET DECREASE IN IMPERVIOUS AREA HAS DECREASED BY 1100 SF

EXISTING BUILDINGS, LOADING DOCK, SIDEWALKS, PAVING = 6600 SF TO BE REMOVED
 NEW NORTH PARKING AREA = 5500 SF

STORM PIPE CALCULATIONS:
 PER STORM WATER CONDUITANCE SECTION 1.41
 ASSUMPTIONS: A TEN YEAR STORM DESIGN INTENSITY = 1.75 / T + 25
 INITIAL TIME ON CONCENTRATION = T_c = 15 MINUTES
 MANNINGS FORMULA, RATIONAL METHOD, n = .013

FROM	TO	TRIB NO.	TRIB ITEM	TRIB AREA	RUNOFF COE.	EQUIV. AREA	"C" FACTOR	ALLOWABLE OUTFLOW Q _a = .15 CFS/ACRE	Q _a (EXISTING OR PROPOSED)	PIPE DIA.	LENGTH FEET	SLOPE %
MH-1	MH-A	A	PAVEMENT	.12 AC	0.95	0.11		Q _a = .15 CFS/ACRE	Q _a = .15 CFS (45A) (53)	12	125	1.0
			SIDEWALK	.01 AC	0.95	0.01						
			PLANTING	.07 AC	0.30	0.02						
			GRASS	.23 AC	0.35	0.08						
			ROOF	.02 AC	0.95	0.02						
				.45 A		.24 A	.53	Q _a = .63				
MH-A	MH-B	B	PAVEMENT	.29 AC	0.95	0.28		Q _a = .15 CFS/ACRE	Q _a = .15 CFS (78A) (82)	15	115	1.3
			SIDEWALK	.01 AC	0.95	0.01						
			PLANTING	.05 AC	0.30	0.02						
			GRASS	.14 AC	0.35	0.05						
			ROOF	.29 AC	0.95	0.28						
				.78 A		.64 A	.82	Q _a = .23				
MH-B	MH-C	C	PAVEMENT	.34 AC	0.95	0.32		Q _a = .15 CFS/ACRE	Q _a = .15 CFS (65A) (84)	15	100	1.5
			SIDEWALK	0 AC	0.95	0						
			PLANTING	.05 AC	0.30	0.02						
			GRASS	.05 AC	0.35	0.02						
			ROOF	.21 AC	0.95	0.20						
				.65 A		.55 A	.84	Q _a = .27				
MH-C	MH-D	D	PAVEMENT	.39 AC	0.95	0.37		Q _a = .15 CFS/ACRE	Q _a = .15 CFS (78A) (73)	15	190	1.0
			SIDEWALK	0	0.95	0						
			PLANTING	.01 AC	0.30	0						
			GRASS	.26 AC	0.35	0.09						
			ROOF	.12 AC	0.95	0.11						
				.78 A		.57 A	.73	Q _a = .29				
MH-D	EXISTG HEADWALL	E	PAVEMENT	.17 AC	0.95	0.16		Q _a = .15 CFS/ACRE	Q _a = .15 CFS (71A) (84)	15	162	1.8
			SIDEWALK	0	0.95	0						
			PLANTING	0	0.30	0						
			GRASS	.12 AC	0.35	0.04						
			ROOF	.42 AC	0.95	0.40						
				.71 A		.58 A	.84	Q _a = .39				
MH-D	EXISTG SPILLWAY	F	PAVEMENT	.24 AC	0.95	0.23		Q _a = .15 CFS/ACRE	Q _a = .15 CFS (49A) (91)	12	134	.8
			SIDEWALK	0	0.95	0						
			PLANTING	0	0.30	0						
			GRASS	.06 AC	0.35	.02						
			ROOF	.19 AC	0.95	0.20						
				.49 A		.45 A	.91	Q _a = .33				
				3.86A		3.03A	.79					



DEVELOPER
 HEYN PROPERTIES
 C/O MR. JEFF HEYN
 PO BOX 535
 MILFORD, MICHIGAN 48381
 PHONE: 248-889-5000

SURVEYOR:
 MCNEELY & LINCOLN ASSOCIATES, INC.
 37741 PEMBROKE
 LIVONIA, MICHIGAN 48152
 PHONE: 734-432-9777

STORMWATER MANAGEMENT PLAN

SCALE 1" = 40'

5 89 43'37" E (M.) 2679.87' (M.)
 EAST & WEST 1/4 LINE SECTION 16

CENTER CORNER SECTION 16
 T. 1 N., R. 8 E.,
 CITY OF NOVI
 FOUND 1/2" IRON ROD
 FENCE POST - S.05W. 28.78'
 CENTERLINE BOLT ON HYDRDRANT
 - S.58E. 89.52'
 FOUND P/K EASTERLY FACE
 POWER POLE - N.06E. 77.00'
 SOUTH EDGE OF ASPHALT
 PAVEMENT - NORTH 13.0'

JOHN STEWART
 ARCHITECTS
 1645 N. MILFORD RD., MILFORD, MICHIGAN 48361 248-685-0978

JOB NO.
 C-2

SHEET



46035



NOTICE
NO PARKING
NO STOPPING
NO LOADING
NO UNLOADING
NO STANDING
NO WAITING
NO IDLING
NO DRIVING
NO TOWING
NO TOWING
NO TOWING

NOTICE
NO PARKING
NO STOPPING
NO LOADING
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NO DRIVING
NO TOWING
NO TOWING
NO TOWING



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