



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: February 9, 2021

REGARDING: 43824 Westridge Lane, Parcel # 50-22-34-277-008 (PZ21-0001)

BY: Larry Butler, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### Applicant

David and Molly Armstrong

#### Variance Type

Dimensional Variance

#### Property Characteristics

Zoning District:	Single Family Residential
Location:	West of Novi Road and South of Nine Mile Road
Parcel #:	50-22-34-277-008

#### Request

The applicant is requesting variances from The City of Novi Zoning Ordinance Section 3.1.5 for a 15-foot exterior side yard setback (30 feet required, variance of 15 feet). This variance would accommodate the building of a new garage addition. This property is zoned Single Family Residential (R-4).

### II. STAFF COMMENTS:

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ21-0001**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

  - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.
  - (b) The property is unique because \_\_\_\_\_.

- (c) Petitioner did not create the condition because \_\_\_\_\_  
\_\_\_\_\_.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_  
\_\_\_\_\_.
- (e) The relief is consistent with the spirit and intent of the ordinance because \_\_\_\_\_  
\_\_\_\_\_.
- (f) The variance granted is subject to:
  - 1. \_\_\_\_\_.
  - 2. \_\_\_\_\_.
  - 3. \_\_\_\_\_.
  - 4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ21-0001**, sought by \_\_\_\_\_,  
for \_\_\_\_\_ because Petitioner has not shown  
practical difficulty requiring \_\_\_\_\_.

- (a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_  
\_\_\_\_\_.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that \_\_\_\_\_.
- (d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_  
\_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler  
Deputy Director Community Development  
City of Novi



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# ZONING BOARD OF APPEALS APPLICATION

**APPLICATION MUST BE FILLED OUT COMPLETELY**

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>				Application Fee: _____	
PROJECT NAME / SUBDIVISION Armstrong Alteration				Meeting Date: _____	
ADDRESS 43824 Westridge Lane		LOT/SIUTE/SPACE #		ZBA Case #: PZ _____	
SIDWELL # 50-22-34 - 277 - 008		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY Galway and Westridge					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
<b>II. APPLICANT INFORMATION</b>					
<b>A. APPLICANT</b>		EMAIL ADDRESS armstrongdj01@yahoo.com		CELL PHONE NO. 216-403-1334	
NAME David and Molly Armstrong				TELEPHONE NO.	
ORGANIZATION/COMPANY Homeowner				FAX NO.	
ADDRESS 43824 Westridge Lane		CITY Northville	STATE MI	ZIP CODE 48167	
<b>B. PROPERTY OWNER</b> <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY	STATE	ZIP CODE	
<b>III. ZONING INFORMATION</b>					
<b>A. ZONING DISTRICT</b>					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
<b>B. VARIANCE REQUESTED</b>					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section _____		Variance requested		15' into required side yard for corner lot for garage addition	
2. Section _____		Variance requested		_____	
3. Section _____		Variance requested		_____	
4. Section _____		Variance requested		_____	
<b>IV. FEES AND DRAWINGS</b>					
<b>A. FEES</b>					
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>					
• Dimensioned Drawings and Plans		• Existing & proposed distance to adjacent property lines		• Location of existing & proposed signs, if applicable	
• Site/Plot Plan		• Existing or proposed buildings or addition on the property		• Floor plans & elevations	
• Number & location of all on-site parking, if applicable		• Any other information relevant to the Variance application			





# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE  
 ACCESSORY BUILDING     USE     OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

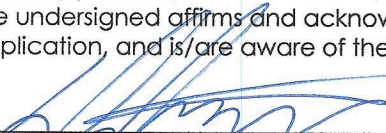
  
Applicant Signature

12/31/2020  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

  
Property Owner Signature

12/31/2020  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date





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**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

**Describe below:**

*The lot is a corner lot which requires 2 front yard setback dimensions, The existing garage size is increasing, but not any closer to the side yard.*  
OR

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure. **Describe below:**

*N/A*

OR

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties. **Describe below:**

*N/A*

## Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

~~The 2 side yards create~~

The 2 front yard setback requirements create the issue that is being presented.

## Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

We are not increasing the non conformity of the lot.

## Standard #4. Minimum Variance Necessary.

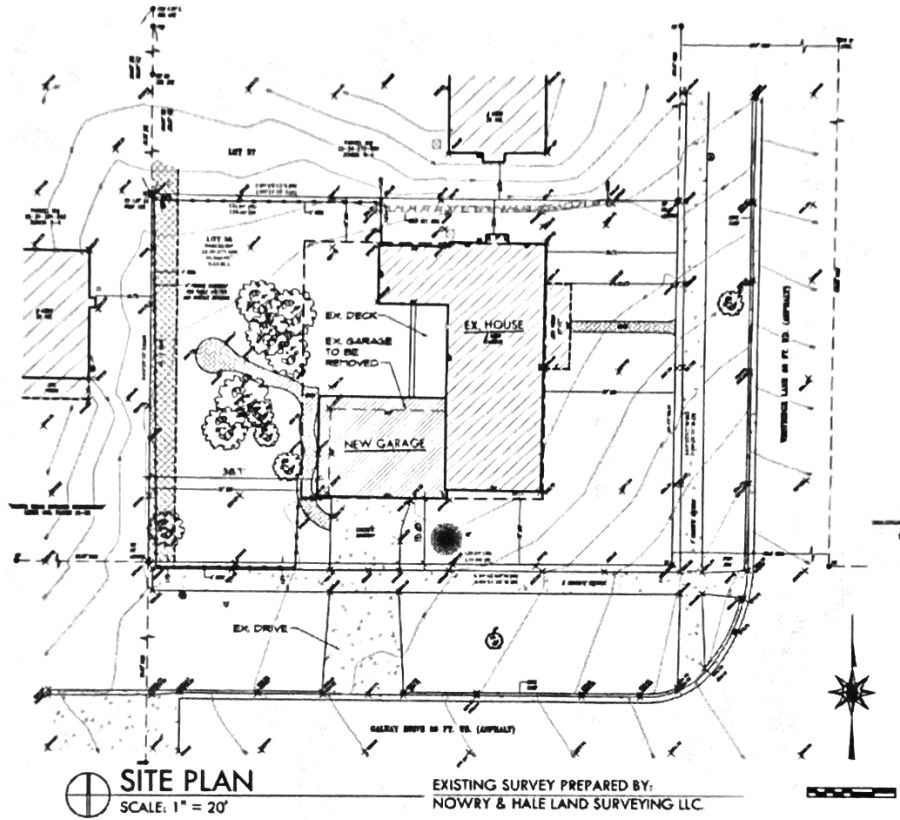
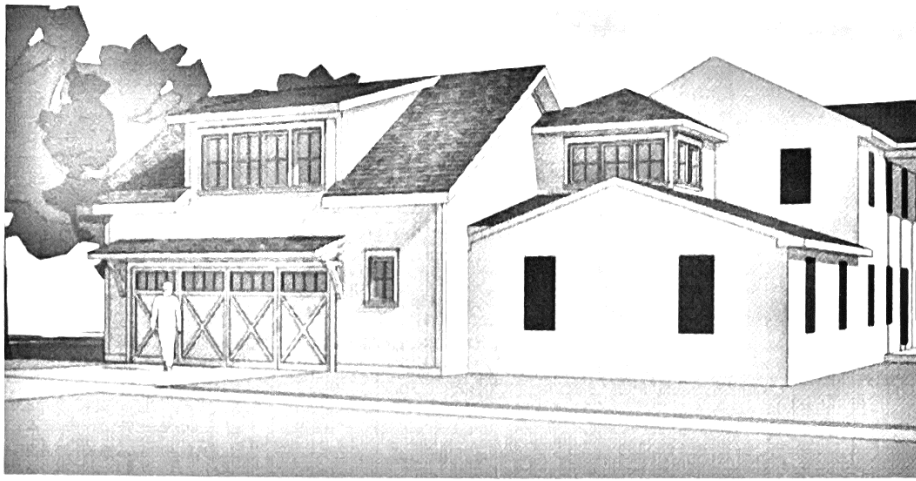
Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

We are just increasing the size of the non conformity structure on a lot with 2 front yard setbacks.

## Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

There is no additional non conformity being increased.



COVERAGE CALC.	
ZONING: RM	
ALLOWED LOT COVERAGE: 25%	
EX HOUSE INCL. EX. GARAGE:	1,672 SQFT.
EX GARAGE FOOTPRINT REMOVED:	938 SQFT.
NEW GARAGE FOOTPRINT:	679 SQFT.
LOT FOOTPRINT:	10,064 SQFT.
2,363 SQFT. / 10,064 SQFT. = 0.235	
LOT COVERAGE = 23.5%	



# THE ARMSTRONG RESIDENCE

## GENERAL NOTES

- USE FIGURED DIMENSIONS ONLY - DO NOT SCALE DRAWINGS.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS FOR ACCURACY AND CONFLICTS. ANY DISCREPANCIES IN PLANS, DETAILS AND OTHER DOCUMENTS SUPPLIED BY ARCHITECT MUST BE REPORTED TO ARCHITECT AT ONCE.
- ARCHITECTURAL DRAWINGS SHOW STRUCTURAL DESIGN INTENT ONLY. MATERIAL SPECIFICATION AND SIZING BY OTHERS AND COORDINATED BY CONTRACTOR.
- "PER OWNER" MEANS SUPPLIED AND INSTALLED BY CONTRACTOR PER OWNER'S SPECIFICATIONS.
- "BY OWNER" MEANS SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
- "FL" MEANS FLUSH.
- "NIC" MEANS NOT IN CONTRACT.
- "VIF" MEANS VERIFY IN FIELD.
- WINDOWS AND DOORS ARE DIMENSIONED TO CENTER OF ROUGH OPENING. REFER TO MANUFACTURERS' LITERATURE FOR ROUGH OPENING SIZES.
- FINAL SELECTIONS OF MATERIALS ARE THE RESPONSIBILITY OF THE HOMEOWNER AND/OR BUILDER, INCLUDING, BUT NOT LIMITED TO PROPER INSTALLATION OF MATERIALS, NAILING, GLUING, CAULKING, INSULATING, FLASHING, ROOFING, WEATHERPROOFING AND MANY OTHER ITEMS AND DETAILS NOT NECESSARILY INDICATED ON THE PLANS.

## DESIGN CRITERIA

- BUILDING CODES USED FOR DESIGN:  
2015 MICHIGAN RESIDENTIAL CODE (MRC)
- FLOOR LIVE AND DEAD LOADS:  
40 PSF LIVE  
15 PSF DEAD FOR WOOD LINOLEUM CARPET FLOORING  
25 PSF DEAD FOR THIN SET CERAMIC FLOORING  
35 PSF DEAD FOR MARBLE/GRAVITE FLOORING
- MINIMUM DEFLECTION CRITERIA:  
L/240 LIVE AND L/180 TOTAL FOR ROOF COMPONENTS  
L/700 LIVE AND L/480 TOTAL FOR FLOOR COMPONENTS WITH RIGID FLOORING (E.G. TILE)  
L/480 LIVE AND L/360 TOTAL FOR FLOOR COMPONENTS WITH FLEXIBLE FLOORING (E.G. CARPET, WOOD)
- ROOF LIVE AND SNOW LOADS:  
FLAT-ROOF SNOW LOAD Pg = 30 PSF  
FLAT ROOF DEAD = 15 PSF
- WIND LOADS:  
ULTIMATE WIND SPEED (VH) IS MPH  
WIND IMPORTANCE FACTOR Iw = 1.0  
BUILDING CATEGORY II  
WIND EXPOSURE B

## MISCELLANEOUS NOTES

- WALLS SHALL BE BRACED ACCORDING TO 2015 MRC.
- TRUSSES SHALL BE BRACED IN ACCORDANCE WITH BOB'S (LATEST EDITION) 'GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES'.
- ALL POINT LOADS SHALL BE CONTINUOUSLY BLOCKED THROUGHOUT THE STRUCTURE TO THE FOUNDATION OR SUPPORT BEAM.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- THE STRUCTURAL DESIGN IS BASED ON THE BUILDING IN ITS COMPLETED STATE. CONTRACTORS AND THEIR SUBCONTRACTORS SHALL TAKE WHATEVER PRECAUTIONS ARE NECESSARY TO WITHSTAND ALL HORIZONTAL AND VERTICAL LOADINGS THAT MAY BE ENCOUNTERED DURING THE CONSTRUCTION PRIOR TO COMPLETION OF THE BUILDING.
- PREFABRICATED I-JOISTS OR METAL PLATED WOOD FLOOR TRUSSES SHALL BE DESIGNED TO SUPPORT THEIR OWN WEIGHT PLUS THE SUPERIMPOSED DEAD AND LIVE LOADS STATED IN THE 2015 MRC. I-JOIST SERIES, MANUFACTURER, SPACING, BRIDGING, BLOCKING, AND DETAILING SHALL BE DESIGNED BY THE FLOOR SYSTEM PROVIDER, SUCH THAT IT MEETS THE DESIGN CRITERIA AS A MINIMUM, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR REVIEW THE DESIGN LAYOUT AND COMPONENT CALCULATIONS BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN, PRIOR TO USE IN THE STRUCTURE.

## CAST-IN-PLACE CONCRETE

- ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 P.S.I.
- ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED 5% +/-.
- CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE. PLACE ALL CONCRETE WITHOUT ADDING WATER TO THE TRANSIT MIX CONCRETE (SLUMP=3-3.75").
- ALL REINFORCING SHALL CONFORM TO ASTM A-618 GRADE 60 FABRICATED AND ERECTED ACCORDINGS TO THE ACI STANDARDS. DETAILS AND DETAILING CONCRETE REINFORCEMENT ACI 318 - LATEST EDITION OR "MANUAL OF ENGINEERING AND PLACING DRAWINGS CONCRETE STRUCTURES", ACI 318R - LATEST EDITION.
- WELDED WIRE FABRIC SHALL BE FURNISHED IN FLAT SHEETS AND SHALL CONFORM TO ASTM A-185 AND HAVE A MINIMUM SIDE AND END LAP OF 8 INCHES.
- ALL REINFORCEMENT SHALL BE FREE OF MUD. ALL REINFORCEMENT SHALL BE PLACED AND SECURELY TIED IN PLACE, SUFFICIENTLY AHEAD OF CONCRETING TO ALLOW INSPECTION AND CORRECTION AS NECESSARY WITHOUT DELAYING CONCRETING OPERATIONS. SPACE ALL BARS 24" DIA. OR 18" DIA. MINIMUM.
- ALL FPOURED CONCRETE WALLS TO BE BACK FILLED WITH SANDY TYPE SOIL OR OTHER SUITABLE BACKFILL MATERIAL THAT IS NOT CLAY OR IN FROZEN AREAS. WALLS ARE TO BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF BUILDING IS IN PLACE.

## FOOTINGS

- CONTRACTOR SHALL VERIFY ALL CONDITIONS INCLUDING UNDERGROUND UTILITIES AND FIELD MEASUREMENTS AT JOB SITE AND REPORT ANY DISCREPANCIES TO OWNER BEFORE PROCEEDING WITH THE WORK.
- PROVIDE NECESSARY SHEETING, SHORING, BRACING, ETC. AS REQUIRED DURING EXCAVATION TO PROTECT SIDES OF EXCAVATION.
- COMPLY FULLY WITH REQUIREMENTS OF OSHA AND OTHER REGULATORY AGENCIES FOR SAFETY PROVISIONS.
- IN ALL CASES FOOTINGS ARE TO BEAR ON UNDISTURBED NATURAL SOILS HAVING A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 2,000 P.S.F. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR AND WHERE NECESSARY INVESTIGATED BY A QUALIFIED SOILS ENGINEER.

## STEEL

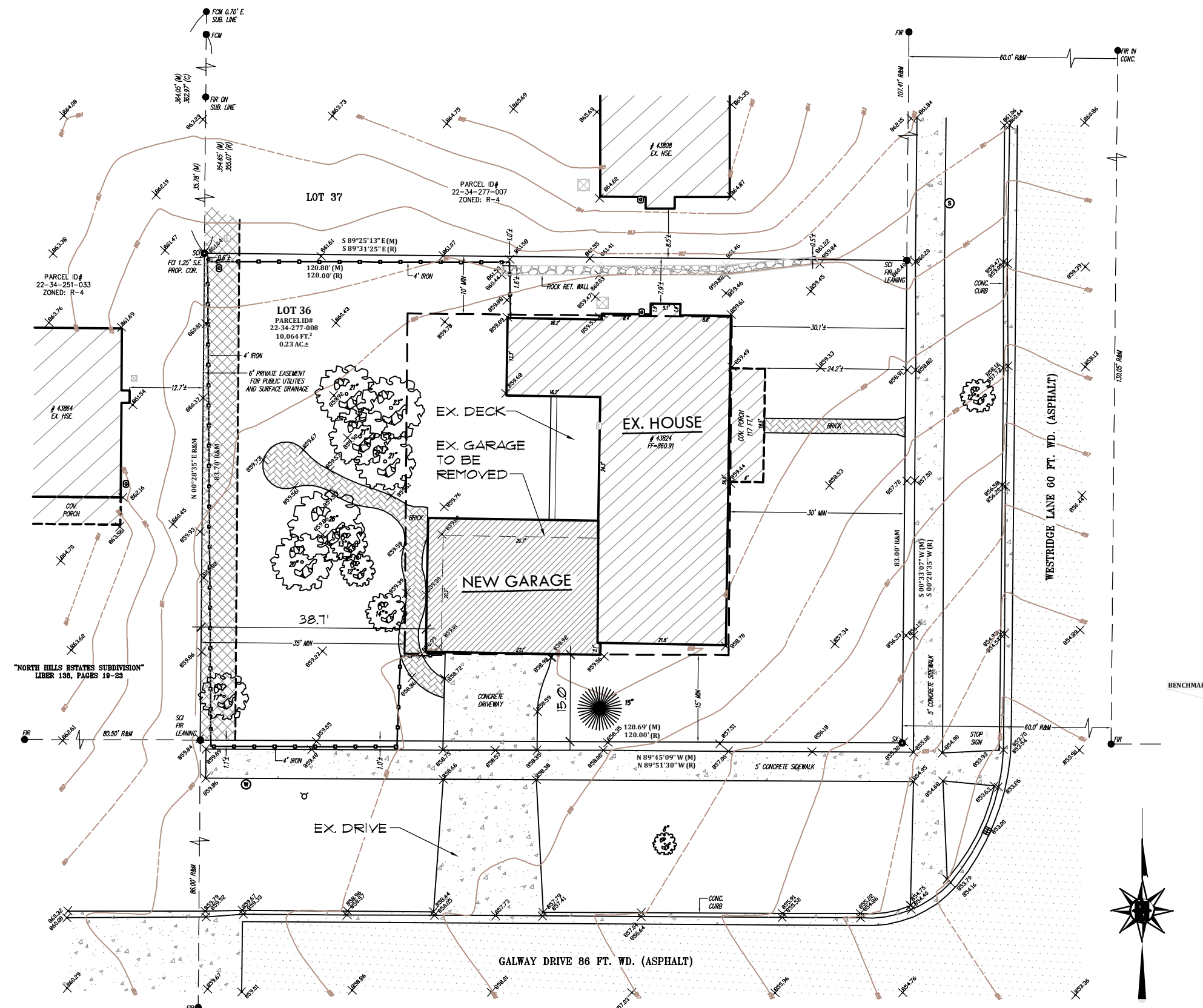
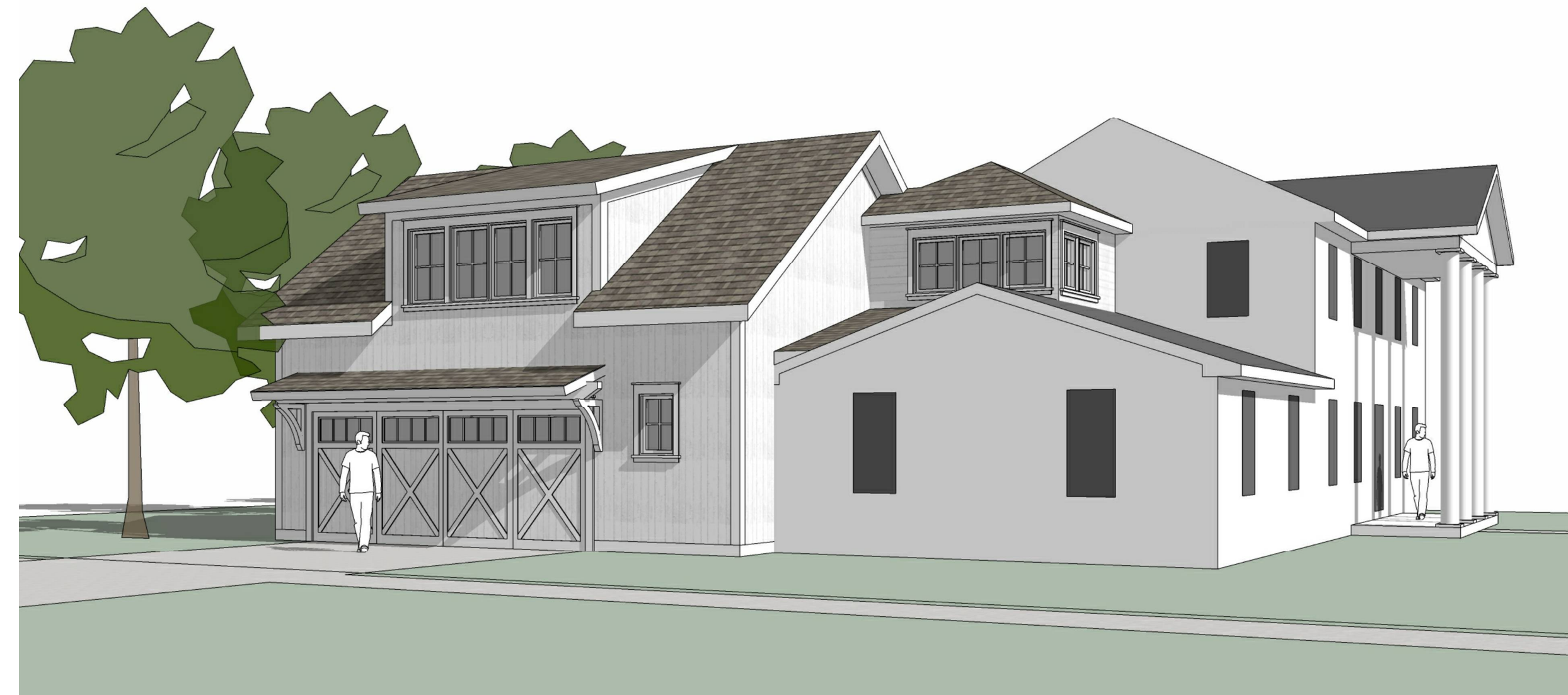
- YIELD STRESS AND TYPE OF STEEL:  
- FOR WIDE FLANGE SHAPES: ASTM A992 WITH YIELD STRESS OF 50,000 PSI  
- FOR S SHAPES, CHANNELS, ANGLES, BARS, PLATES AND RODS: ASTM A36 WITH YIELD STRESS OF 36,000 PSI  
- FOR RECTANGULAR AND SQUARE TUBULAR SHAPES: ASTM A500 WITH YIELD STRESS OF 46,000 PSI
- BOLTS: USE CARBON OR ALLOY STEEL ASTM A325, 1/2" DIA. OR LARGER IF REQUIRED BY CONNECTION DESIGN. ANCHOR BOLTS SHALL BE WEDGE STYLE ANCHORS HILTI KWIK BOLT 3. NUTS: CARBON STEEL MEETING ASTM A563 WASHERS: HARDENED STEEL WASHERS MEETING ASTM F436. ASTM A307 BOLTS MAY BE USED FOR WOOD TO WOOD CONNECTIONS AND STEEL TO STEEL CONNECTIONS.
- ANCHOR RODS: ASTM F1554, GRADE 36.

## MASONRY

- ALL MASONRY VENEER SHALL BE PROVIDED WITH WALL TIES AND WEEP HOLES PER CURRENT CODE.

## WOOD CONSTRUCTION

- ROUGH CARPENTRY CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO START OF FABRICATION OR CONSTRUCTION AND NOTIFY OWNER OF ANY DISCREPANCY.
- ALL LUMBER FRAMING AND TRUSSES SHALL CONFORM TO APPLICABLE SECTIONS OF LATEST SPECIFICATIONS OF NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS, TRUSS PLATE INSTITUTE, AMERICAN PLYWOOD ASSOCIATION, TRUSS JOIST CORPORATION, NATIONAL FOREST PRODUCTS ASSOCIATION, AND AMERICAN WOOD PRESERVERS ASSOCIATION.
  - ALL FLUSH BEAM - JOIST CONNECTION SHALL BE FASTENED WITH AN APPROPRIATE CAPACITY METAL HANGER.
  - ALL POST-BEAM CONNECTIONS SHALL BE FASTENED WITH AN APPROPRIATE CAPACITY METAL STRAP OR EQUIVALENT METAL PRODUCT AS APPROVED BY ENGINEER AND (1) TOE NAIL (16D) FOR EACH 1000# AXIAL LOAD OR EACH SUPPORT STUD. POST BEAMS AND SUPPORT SHALL PROVIDE SUFFICIENT BEARING WITH ENGINEER APPROVED METAL CONNECTOR AND / OR TWO (2) TOE NAIL FOR EACH 1000# AXIAL LOAD OR EACH SUPPORT STUD.
  - ALL LUMBER BEARING SHALL PROVIDE SUFFICIENT AREAS SO AS TO EXCEED 400 P.S.I.
  - ALL SHEATHED STUDS SHALL BE LIMITED TO 2000# AXIAL LOAD.
  - ALL BUILT-UP POSTS, BEAMS AND GIRDERS SHALL BE NAILED AND / OR BOLTED PER NDS.
- FASTEN ALL LVL BEAMS WITH 3-16D NAILS @12" O.C. EACH SIDE, STAGGERED, GLUE AND NAIL, UNLESS NOTED ON DRAWINGS OTHERWISE. BOLT ALL 4-PLY LVL'S TOGETHER W/ MIN OF 2 ROUS 1/2" DIA. THRU BOLTS AT 24" O.C.
- LUMBER FOR RAFTER, STUDS AND BLOCKING SHALL BE DOUGLAS FIR #2 DENSE OR SOUTHERN PINE #2, OR BETTER WITH AN ALLOWABLE BENDING STRESS OF 1450 P.S.I. LVL BEAMS SHALL BE 1 7/8" WIDE PER PLY AND HAVE AN ALLOWABLE BENDING STRESS OF 2350 P.S.I. 5-1/2" O.C. OR HIGHER, AND SHALL BE JOINED TOGETHER PER MANUFACTURERS SPECIFICATION.
- MIN. PSL COLUMN PROPERTIES SHALL BE: 18X10E6 P.S.I. FB + 2,400 P.S.I TRUS JOIST PARALLAL TO OR EQUAL
- NAILING SCHEDULE FOR PLYWOOD DECK AND SHEATHING.
  - 10D NAILS @6" O.C. AT DIAPHRAGM BOUNDARY ALONG END SUPPORTING MEMBER UNLESS NOTED OTHERWISE
  - 10D NAILS @12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS.
  - PROVIDE BLOCKING AT UNSUPPORTED EDGES OF PLYWOOD WHERE NOTED ON DRAWINGS NAILED WITH 10D NAILS @4" O.C. AT DIAPHRAGM BOUNDARIES AND CONTINUOUS PANEL EDGES @12" O.C. AT PANEL EDGES.
- FOR ALL ROOFS AND FLOOR FRAMING MEMBERS, WALL STUDS, PROVIDE ONE LINE OF BRIDGING FOR EACH EIGHT FOOT OF SPAN. PROVIDE METAL DIAGONAL CORNER BRACING AND WIND BRACING PER CURRENT CODE.
- CONTRACTOR TO PROVIDE TEMPORARY SHORING FOR WOOD TRUSS DURING CONSTRUCTION.
- ROOF TRUSS MANUFACTURER (IF APPLICABLE TO JOB) TO SUPPLY CONTRACTOR WITH SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. TRUSS MANUFACTURER SHALL INDICATE ANY CHANGES TO DRAWINGS THAT WOULD REQUIRE CHANGES TO SUPPORTING STRUCTURE.
- ALL STAIRWAYS, STAIR GUARDS, HANDRAILS, BALUSTERS, HEADROOM RISERS AND TREADS TO COMPLY WITH CURRENT CODE.
- ALL WINDOW & DOOR HEADERS TO BE (3X12) @ 2X6 WALLS & (2X12) @ 2X4 WALLS, UNLESS OTHERWISE NOTED

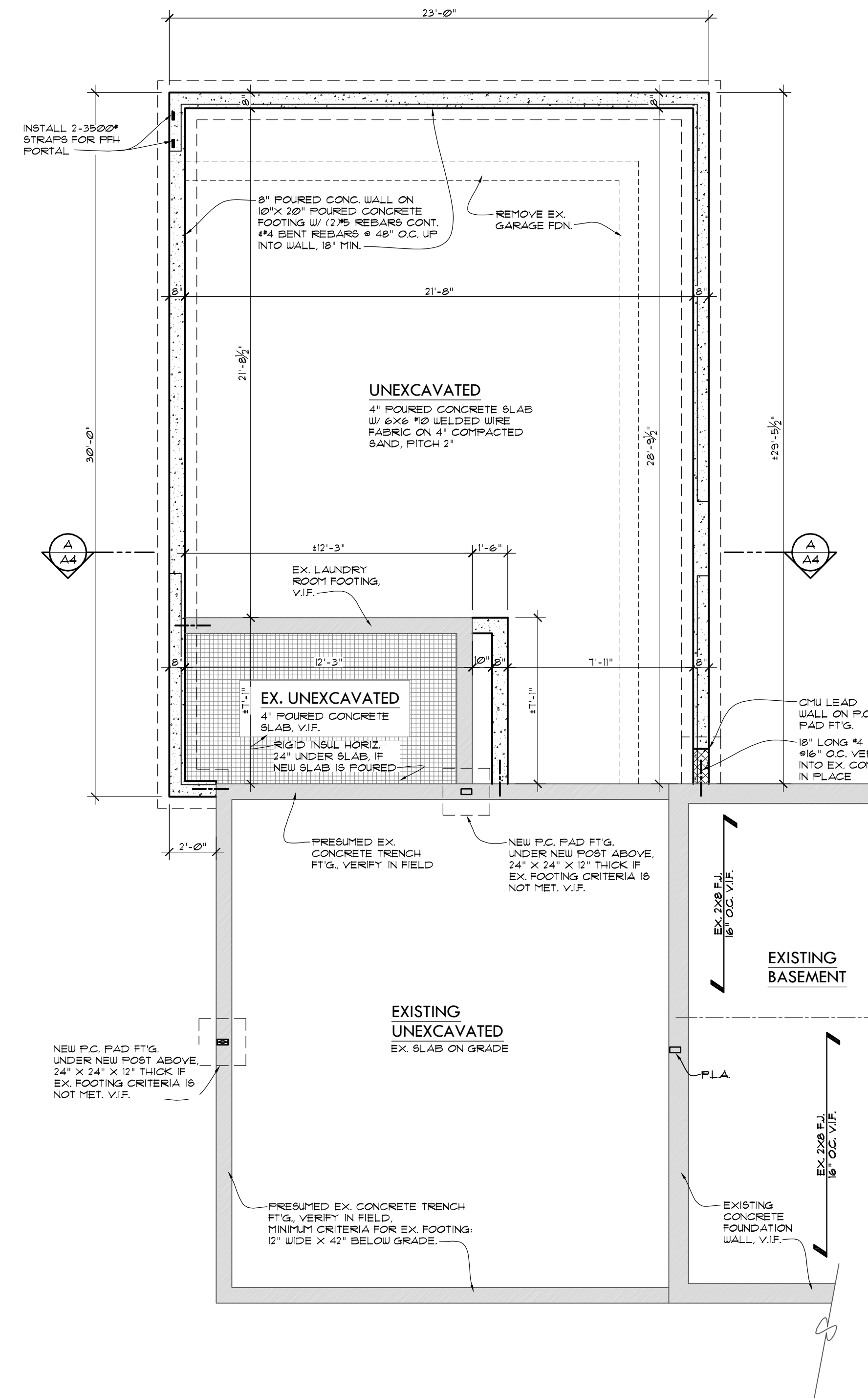


**SITE PLAN**  
SCALE: 1" = 20'

EXISTING SURVEY PREPARED BY:  
NOWRY & HALE LAND SURVEYING LLC.

## COVERAGE CALC.

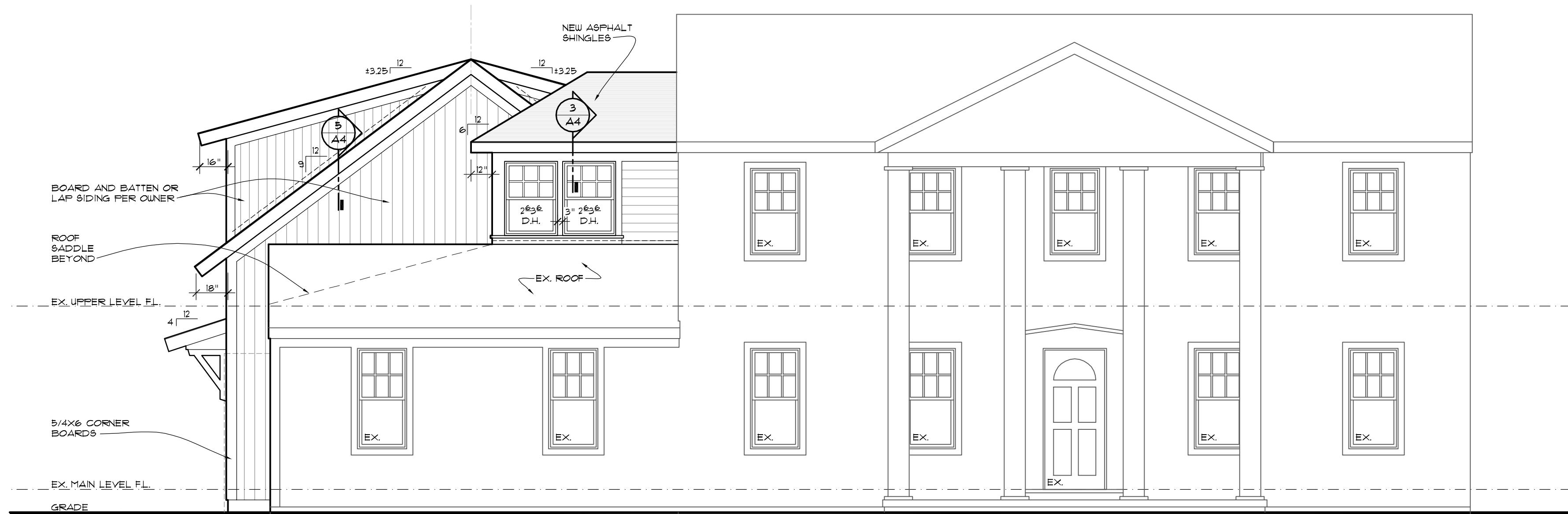
ZONING: R4	ALLOWED LOT COVERAGE: 25%
EX HOUSE INCL. EX. GARAGE:	2,022 SQFT.
EX GARAGE FOOTPRINT REMOVED:	538 SQFT.
NEW GARAGE FOOTPRINT:	619 SQFT.
LOT FOOTPRINT:	10,064 SQFT.
2,163 SQFT / 10,064 SQFT. = 0.215	LOT COVERAGE = 21.5%



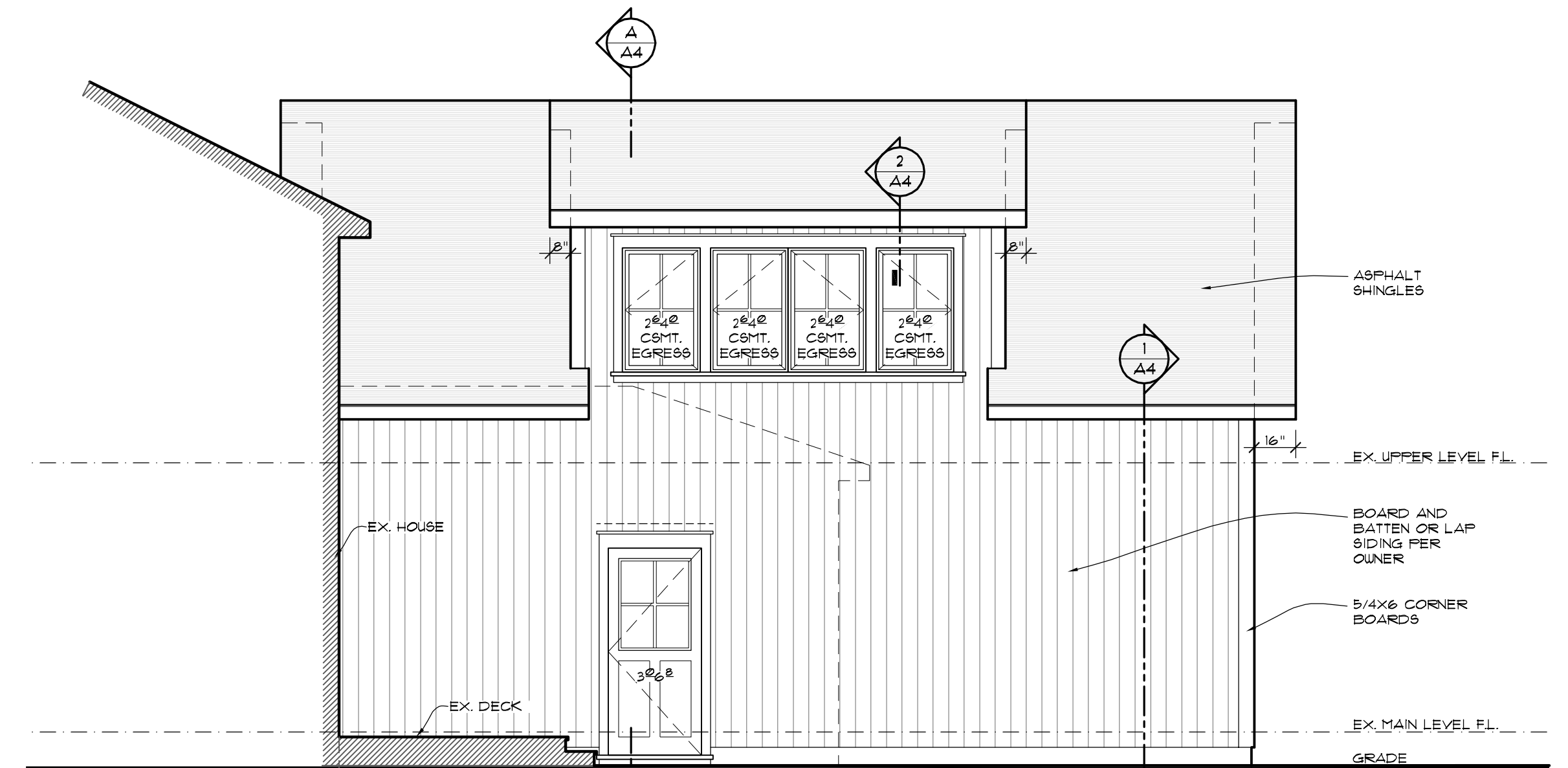
**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



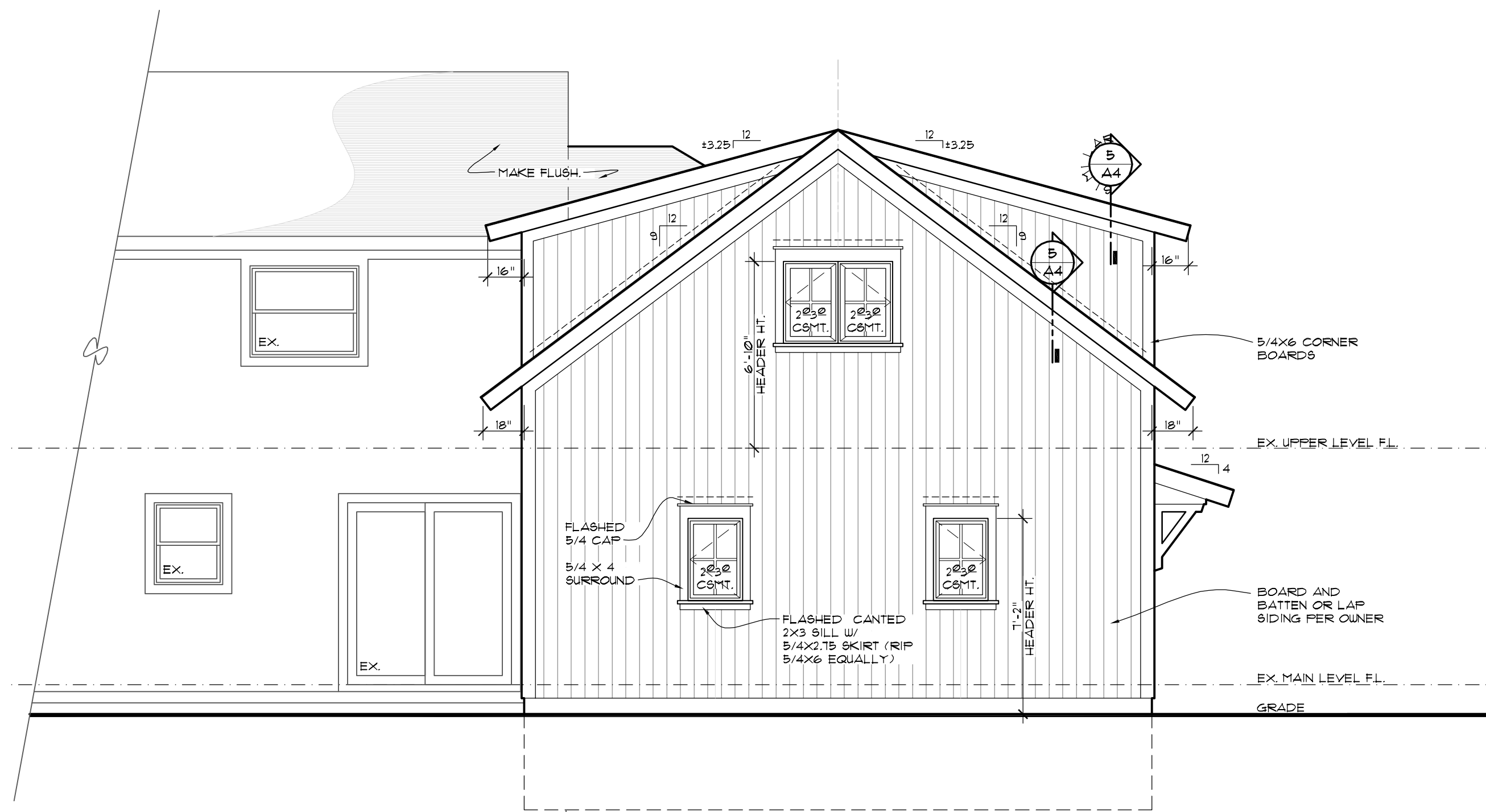




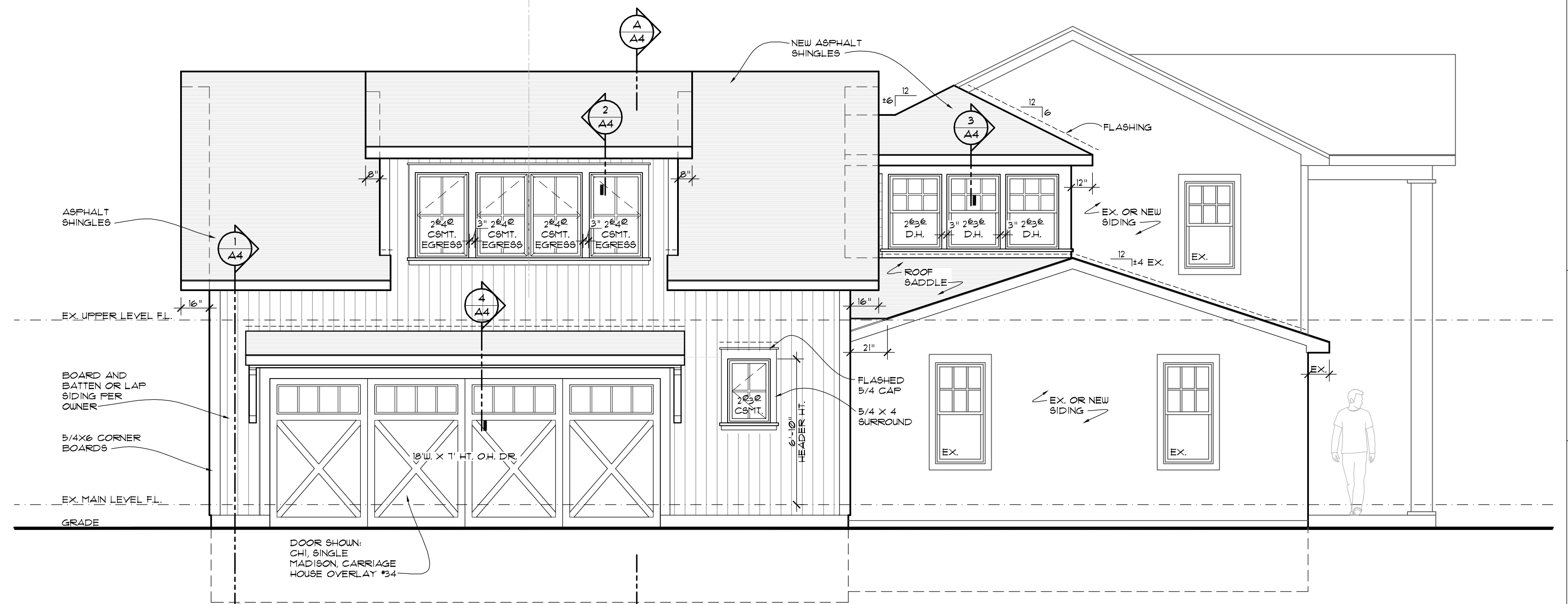
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

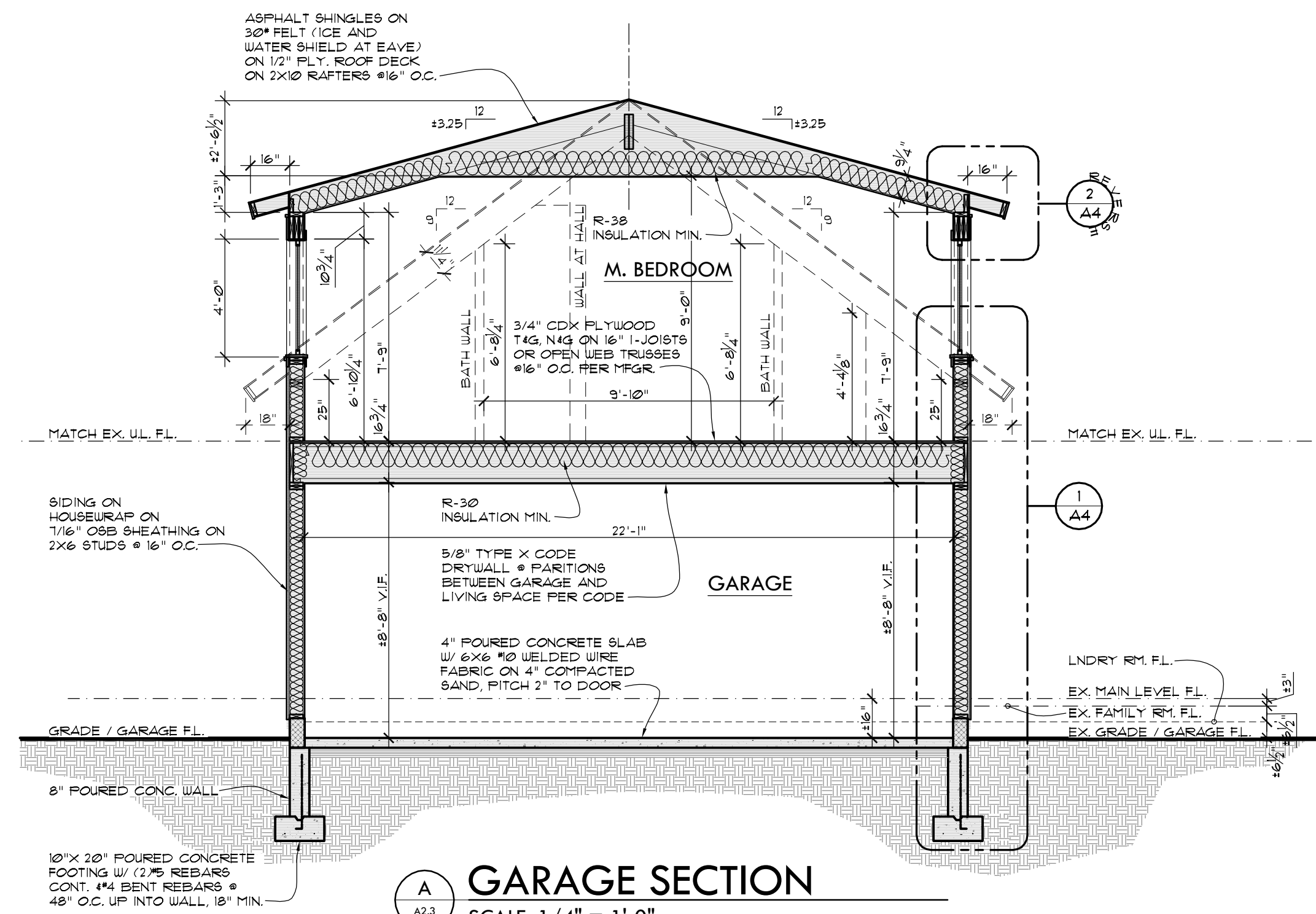


**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

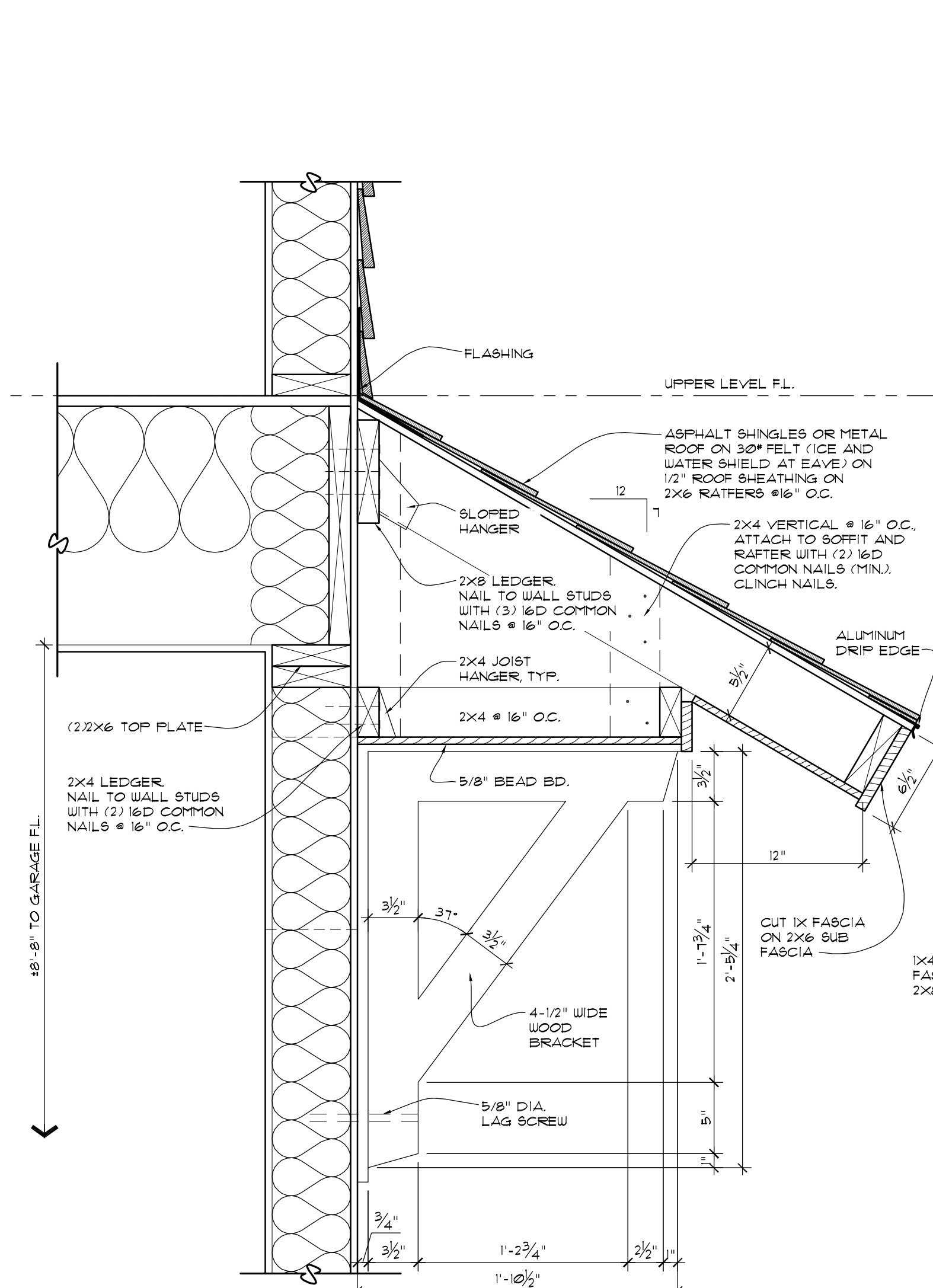




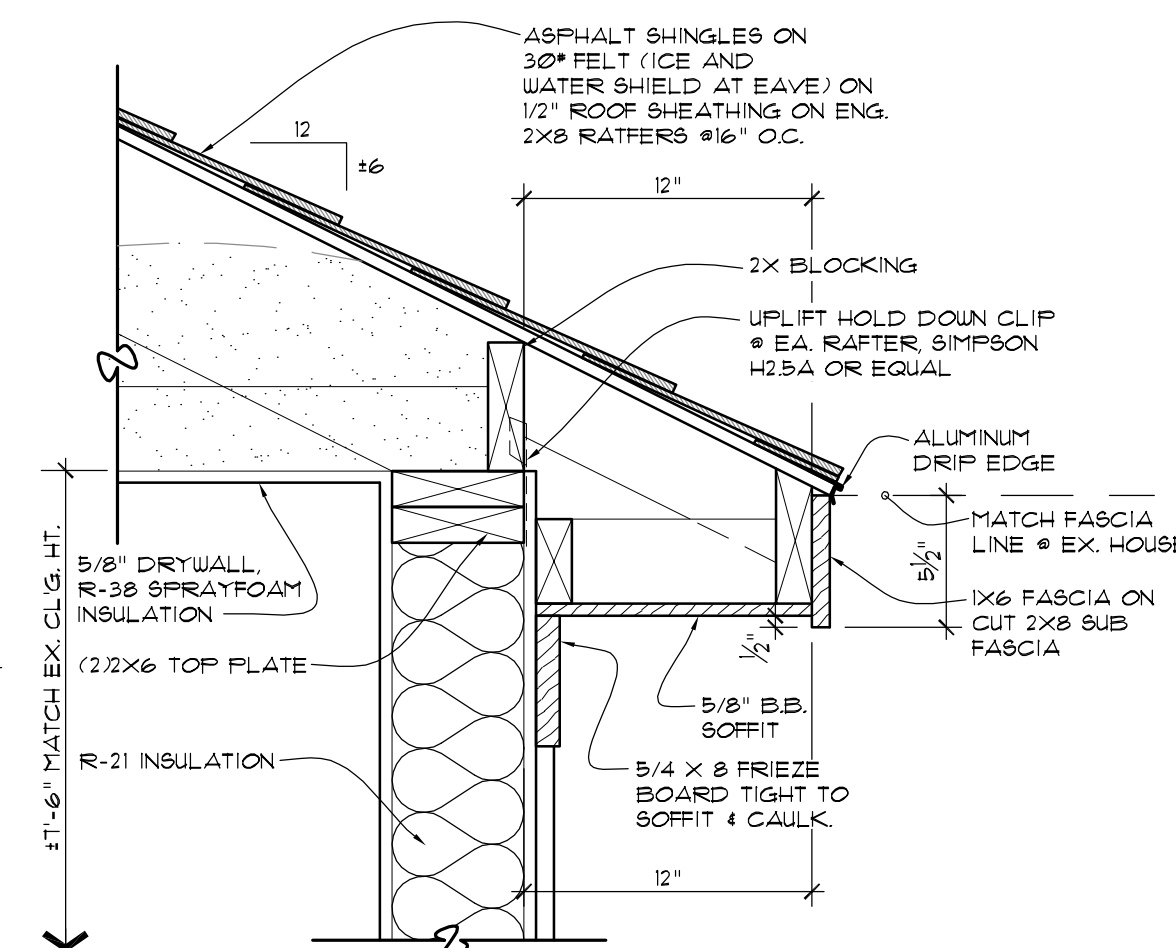
ROOF INTERSECTION



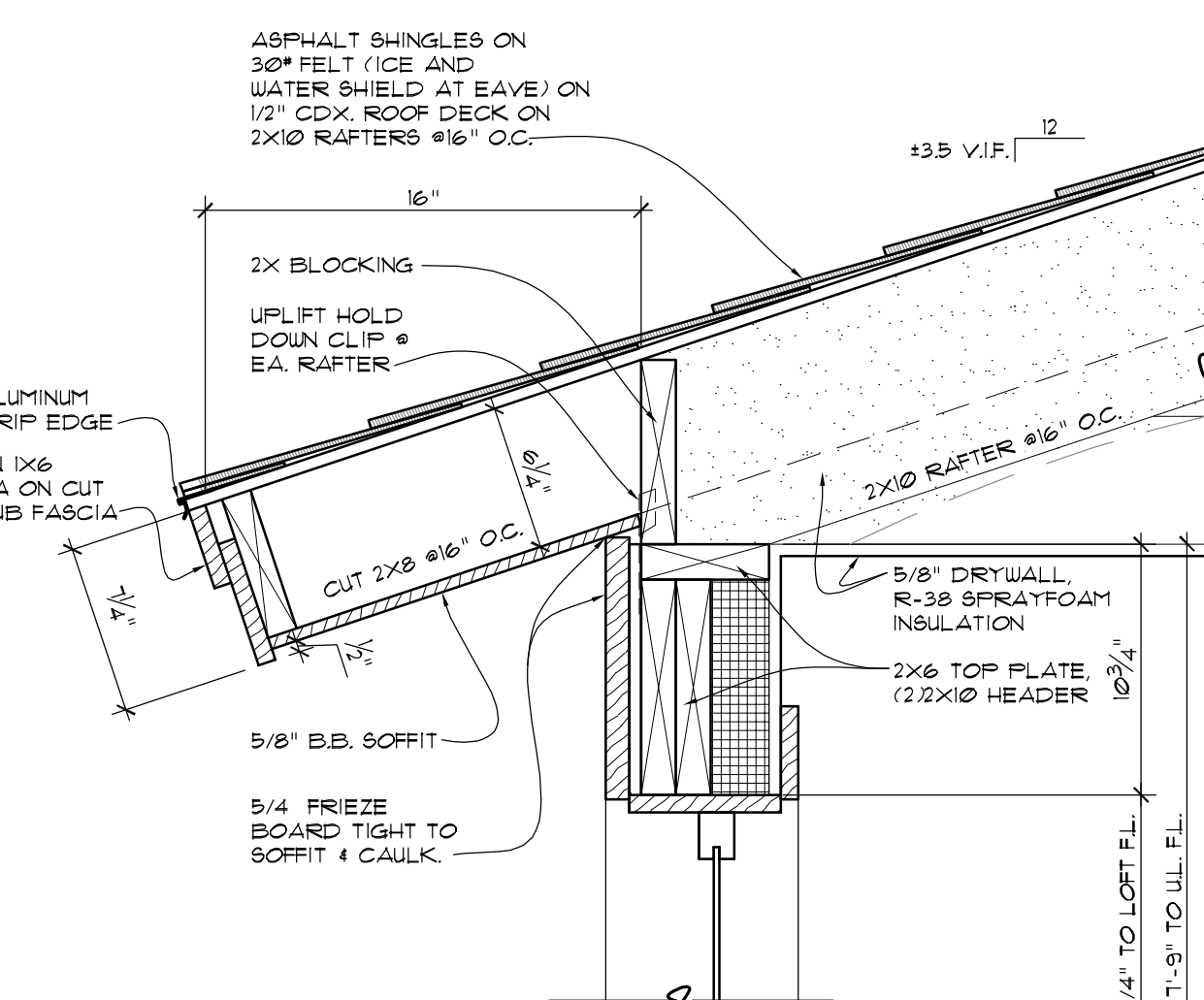
**A** GARAGE SECTION  
SCALE: 1/4" = 1'-0"



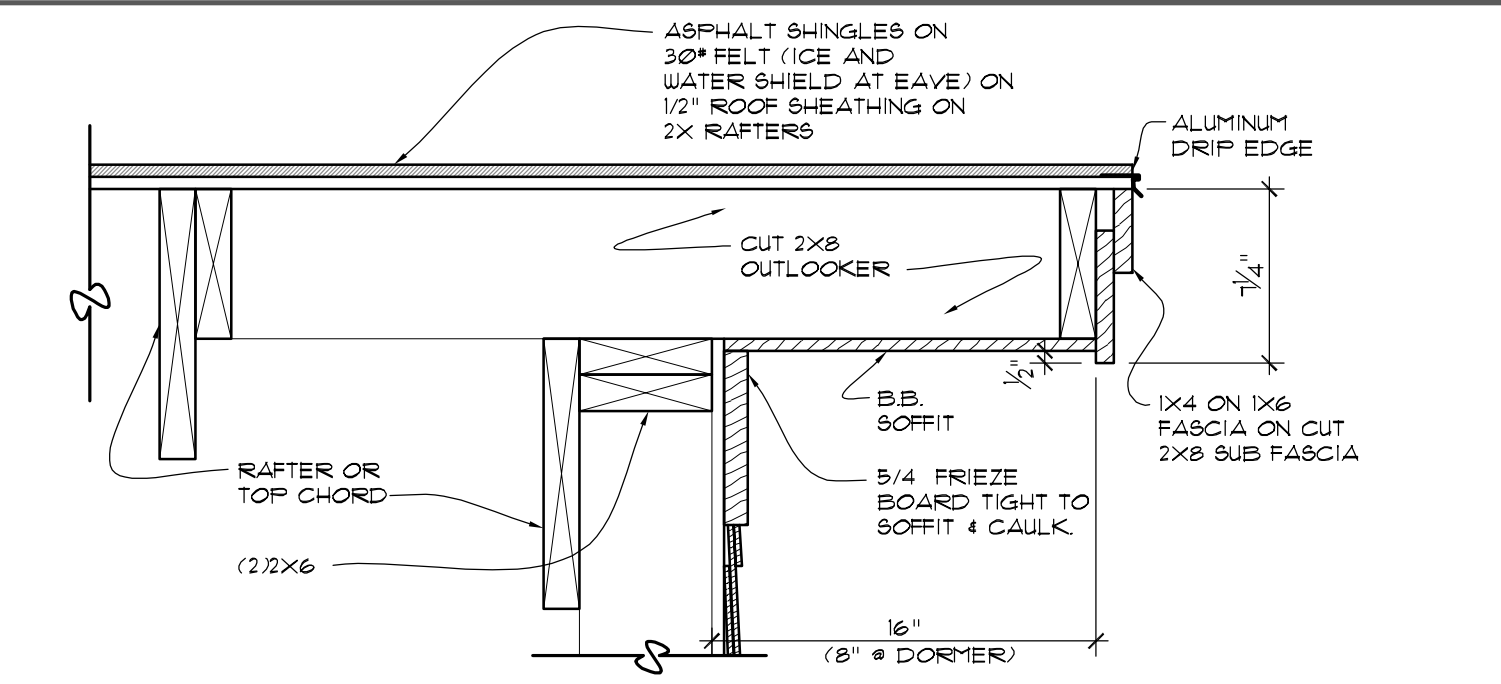
**4** GARAGE DOOR BRACKET DETAIL  
SCALE: 1-1/2" = 1'-0"



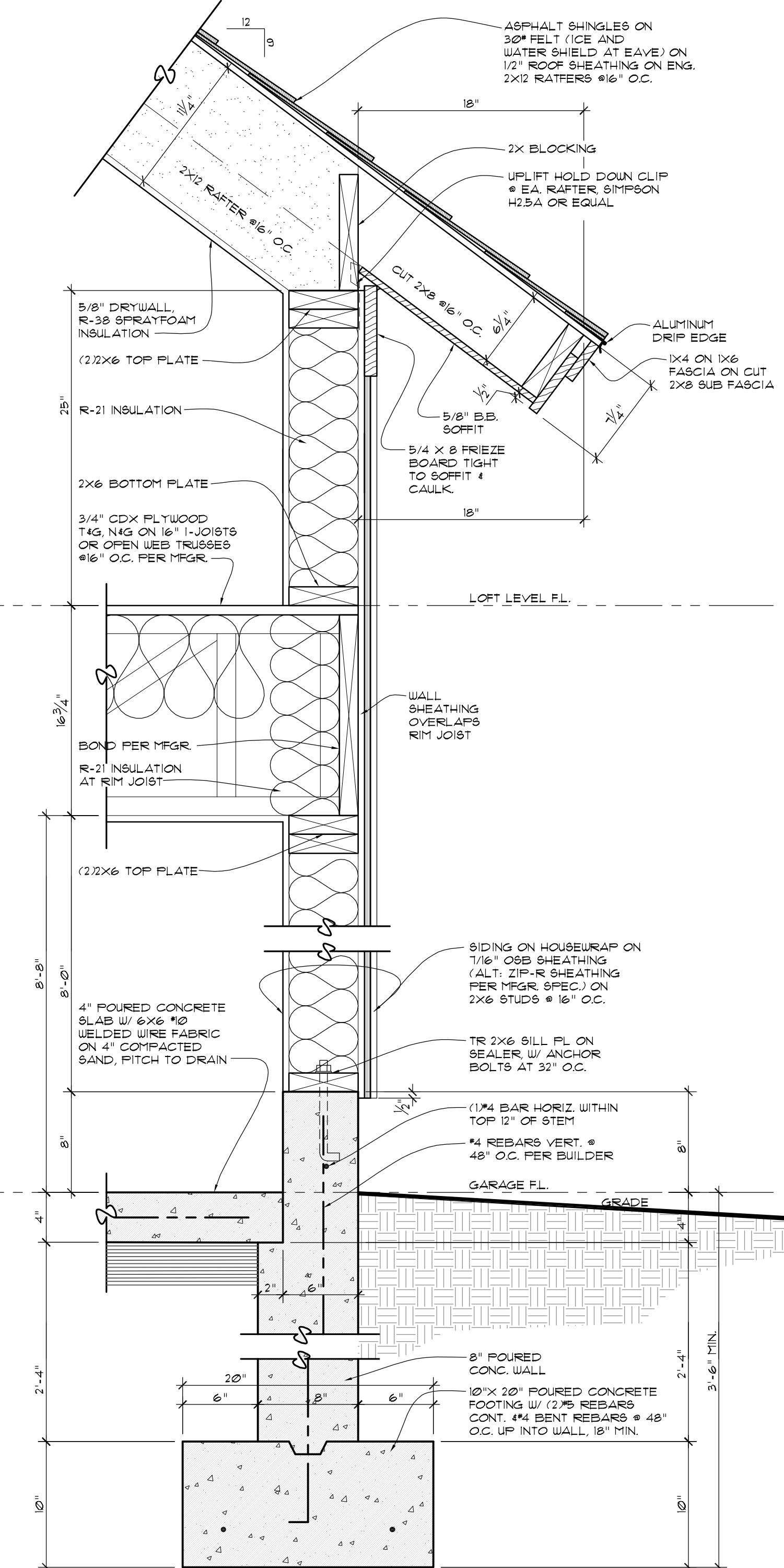
**3** ROOF DETAIL NEW HALL  
SCALE: 1-1/2" = 1'-0"



**2** SHED ROOF DETAIL AT DORMER  
SCALE: 1-1/2" = 1'-0"



**5** GARAGE RAKE DETAIL  
SCALE: 1-1/2" = 1'-0"



**1** GARAGE WALL DETAIL  
SCALE: 1-1/2" = 1'-0"



# ARCHITECTURAL REQUEST FORM

## WESTRIDGE DOWNS IMPROVEMENT APPLICATION

### WHEN DO YOU FILE AN IMPROVEMENT APPLICATION?

An application form must be submitted for any construction, modification, or addition to the exterior of your building (home) or grounds. If in doubt about your particular project, contact Westridge Downs President (248.347.9763).

Return this form via mail to:  
Kathleen Konen, 43780 Galway,  
Northville, MI 48167

### WHAT IS THE OBJECT OF THIS FORM?

The object of requiring an Improvement Application with the Board of Trustees or Modification Committee is two-fold:

- To ensure that your planned improvement conforms to the Association's Declaration, enhances the beauty of Community and in no way inconveniences your fellow owners.
- To enable the Association to determine what information and assistance it can give in order to expedite the completion of your planned improvement.

NAME: David + Molly Armstrong ADDRESS: 43824 Westridge Lane, Northville MI 48167  
DATE: 01/07/21 PHONE NUMBER: 216 403 1334  
OWNER: David + Molly Armstrong

### TYPE AND NATURE OF REQUESTED IMPROVEMENT

COLOR: match existing home LOCATION: garage  
DIMENSIONS: 23 x 30 CONSTRUCTION MATERIAL: wood

CONTRACTOR: Mike Miller  
SUPPLIES: \_\_\_\_\_ APPROXIMATE COST: \$ 200,000

*A scale drawing of all improvements must be submitted and attached to this application to show the exact location and dimensions.*

I understand the rules concerning the proposed improvement. This improvement in no way encroaches on a neighbor's property or common ground (if applicable). I agree to abide by the rules established by the Westridge Downs Association, as well as the Novi City Ordinances. I will be solely liable for any upkeep required by the construction of this improvement.

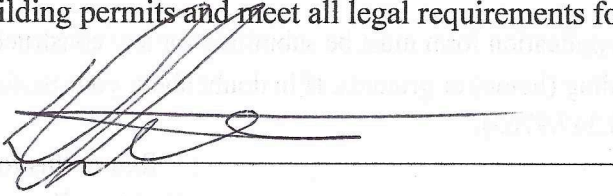
# ARCHITECTURAL REQUEST FORM

## WESTRIDGE DOWNS IMPROVEMENT APPLICATION

I further agree to obtain all licenses and/or building permits and meet all legal requirements for building codes.

Date: 01/07/21

Signature: \_\_\_\_\_



### For Association Use:

Approved by: Yes  No

Signature of Committee/Board: \_\_\_\_\_



Special Details or Provisions for Approval: \_\_\_\_\_