



## COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

# ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals

**MEETING DATE:** December 10, 2024

**REGARDING:** 39471 Twelve Mile Road # 50-22-13-200-016 (PZ24-0060)

**BY:** Alan Hall, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### **Applicant**

Sheetz Novi

#### **Variance Type**

Dimensional Variance

#### **Property Characteristics**

Zoning District: This property is zoned General Business (B-3)

Location: on the southwest corner of Twelve Mile Road and Haggerty Road

Parcel #: 50-22-13-200-016

#### **Request**

The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 5.4.2 to allow a loading zone in the front yard (loading zones permitted in the rear or interior side yard).

### II. STAFF COMMENTS:

*The applicant, Sheetz Novi, is seeking a variance regarding their required loading zone to be allowed within in a front yard setback. This property is located on the corner of two major roads (Haggerty Rd. and 12-Mile Rd.) and thus has two front yard setbacks. The location of this loading zone is for the fuel delivery trucks and needs to be near the underground tanks. The site is tightly configured, and the proposed location of this loading zone is screened by a evergreen hedge in the adjacent greenbelt.*

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we grant the variance in Case No. **PZ24-0060**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.

(b) The property is unique because \_\_\_\_\_.

(c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_.

(e) The relief is consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:

- 1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

2. I move that we **deny** the variance in Case No. **PZ24-0060**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi



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## ZONING BOARD OF APPEALS APPLICATION

**APPLICATION MUST BE FILLED OUT COMPLETELY**

RECEIVED

OCT 22 2024

CITY OF NOVI  
COMMUNITY DEVELOPMENT

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>				Application Fee: <span style="font-size: 24px; color: blue;">\$330.00</span> Meeting Date: <span style="font-size: 24px; color: blue;">12-10-24</span> ZBA Case #: <span style="font-size: 24px; color: blue;">PZ 24-0060</span>
PROJECT NAME / SUBDIVISION Sheetz Novi (Haggerty)				
ADDRESS 39471 W 12 Mile Rd		LOT/SIUTE/SPACE #		
SIDWELL # 50-22-13 -200 -016		May be obtain from Assessing Department (248) 347-0485		
CROSS ROADS OF PROPERTY southeast corner of 12 Mile Rd and Haggerty Rd				
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				
<b>II. APPLICANT INFORMATION</b>				
<b>A. APPLICANT</b>		EMAIL ADDRESS kamr@skilknGold.com	CELL PHONE NO. 734 536 8052	
NAME Kareem Amr		TELEPHONE NO. 614 418 3100		
ORGANIZATION/COMPANY Skilkn Gold		FAX NO.		
ADDRESS 4270 Morse Road		CITY Columbus	STATE OHio	
		ZIP CODE 43230		
<b>B. PROPERTY OWNER</b> <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER				
Identify the person or organization that owns the subject property:		EMAIL ADDRESS jjrow@UFMichigan.com	CELL PHONE NO.	
NAME UF Michigan LLC & 39471 Twelve Mile Road, LLC		TELEPHONE NO. 248-663-2430		
ORGANIZATION/COMPANY		FAX NO.		
ADDRESS 220 Park Street, Suite 102		CITY Birmingham	STATE Michigan	
		ZIP CODE 48009		
<b>III. ZONING INFORMATION</b>				
<b>A. ZONING DISTRICT</b>				
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER <u>B-3</u>				
<b>B. VARIANCE REQUESTED</b>				
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:				
1. Section <u>5.4.2</u> Variance requested <u>Loading Zone in front yard</u>				
2. Section _____ Variance requested _____				
3. Section _____ Variance requested _____				
4. Section _____ Variance requested _____				
<b>IV. FEES AND DRAWINGS</b>				
<b>A. FEES</b>				
<input type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660				
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>				
<ul style="list-style-type: none"> <li>• Dimensioned Drawings and Plans</li> <li>• Site/Plot Plan</li> <li>• Existing or proposed buildings or addition on the property</li> <li>• Number &amp; location of all on-site parking, if applicable</li> </ul>		<ul style="list-style-type: none"> <li>• Existing &amp; proposed distance to adjacent property lines</li> <li>• Location of existing &amp; proposed signs, if applicable</li> <li>• Floor plans &amp; elevations</li> <li>• Any other information relevant to the Variance application</li> </ul>		





# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE

ACCESSORY BUILDING

USE

OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

Applicant Signature

10/21/2024

Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

10/21/2024

Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



**Community Development Department**

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**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable     Applicable    If applicable, describe below:

Zoning Ordinance §5.4.2 prohibits a loading zone in the front yard. This is a corner lot and accordingly has 2 front yards.

*and/or*

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable     Applicable    If applicable, describe below:

*and/or*

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable     Applicable    If applicable, describe below:

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The use of the property is as a gas station. This is a principle Permitted Use in this B-3 zoning district. The location and size of the proposed loading zone is necessitated by the permitted use. The loading zone must be large enough to accommodate the fuel delivering trucks. The Loading zone must also be near the underground storage tanks. Hence the necessity for this variance.

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Because the loading zone must be large enough to accommodate the fuel delivering trucks and must be near the underground storage tanks strict compliance with § 5.4.2 will unreasonably prevent the intended permitted use as a gas station.

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The variance size and location of the loading zone is the minimum to accommodate the fuel delivery trucks.

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The administrative landscape review of the proposed site plan application recognizes that: "The required screening for the loading zone is provided by the greenbelt landscaping and an evergreen hedge. This is accepted by staff, as long as the hedge is maintained at 6 feet to screen most of the truck when it is unloading fuel.



APPLICANT  
 SKILKEN GOLD  
 DREW RICHLIN, PE  
 4270 MORSE ROAD  
 COLUMBUS, OH 43230  
 PHONE: (614) 418-3100

OWNER  
 39471 TWELVE MILE ROAD, LLC AND  
 UF MICHIGAN, LLC  
 132 N. OLD WOODWARD  
 BIRMINGHAM, MI 48009  
 PHONE: (248) 633-2430

ENGINEER  
 GIFFELS WEBSTER  
 MS. NANCY STANDISH, PE  
 1025 E. MAPLE, SUITE 100  
 BIRMINGHAM, MI 48009  
 PHONE: (248) 852-3100

SURVEYOR  
 GIFFELS WEBSTER  
 CHRIS ASIALA, PS  
 1025 E. MAPLE, SUITE 100  
 BIRMINGHAM, MI 48009  
 PHONE: (248) 852-3100

LANDSCAPE ARCHITECT  
 GIFFELS WEBSTER  
 FRANCESCA SCHOVERS, RLA  
 1025 E. MAPLE, SUITE 100  
 BIRMINGHAM, MI 48009  
 PHONE: (248) 852-3100

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI, OAKLAND COUNTY WRC, GREAT LAKES WATER AUTHORITY, AND THE EGLE.
- ALL WORK WITHIN THE ROAD COMMISSION FOR OAKLAND COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH ROAD COMMISSION SUPPLEMENTAL PERMIT SPECIFICATIONS AND BY PERMIT ONLY.
- ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR. ALL PERMIT FEES, BONDS, AND INSURANCE REQUIRED BY THE ISSUING AGENCIES SHALL BE PROVIDED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.
- 72 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) FOR LOCATION OF UNDERGROUND AND CABLE FACILITIES, AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
- UTILITY INFORMATION SHOWN ON THE PLANS WAS OBTAINED FROM UTILITY OWNERS AND MAY OR MAY NOT BE ACCURATE AND COMPLETE. CONTRACTOR SHALL VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN EFFECT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.
- THE UTILITY POLES SHOWN ON THESE DRAWINGS ARE INTENDED TO SHOW ONLY THE LOCATION OF EXISTING POLES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITY AND DIRECTION OF OVERHEAD LINES. THE COST FOR SUPPORTING AND RELOCATING POLES SHALL BE INCIDENTAL TO THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK FORCES, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. THROUGHOUT CONSTRUCTION. THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF MUD FROM VEHICLES TIRES. ROADWAYS AND DRIVEWAYS SHALL BE MAINTAINED AND OPEN FOR EMERGENCY VEHICLES AT ALL TIMES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENTS AND BUSINESSES, WHOSE DRIVEWAYS ARE AFFECTED BY HIS SCHEDULE, 24 HOURS IN ADVANCE. CONTRACTOR SHALL SCHEDULE CONSTRUCTION AT NON-PEAK USE HOURS AND SHALL MINIMIZE DRIVEWAY CLOSURE BY EXPEDITING CONSTRUCTION.
- DURING CONSTRUCTION, CONTRACTOR MAY ENCOUNTER SPRINKLER HEADS, PIPING, LIGHTING, AND BURIED ELECTRICAL CABLE, MAILBOXES, FENCES, SIGNS, ETC. CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL COMPONENTS OF SUCH SYSTEMS. THIS WORK SHALL BE INCIDENTAL TO THE PROJECT.
- RIGHT-OF-WAYS AND FRONT OF LOTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY TOPSOIL, SEED AND MULCH.
- THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY. NO OFF-SITE WORK SHALL BE PERFORMED OUTSIDE OF PUBLIC RIGHTS-OF-WAY OR DEDICATED EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROPERTY OWNER.
- GREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
- THE PROTECTION OF EXISTING TREES, AS REQUIRED, SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- FINAL CLEANUP AND RESTORATION SHALL CONSIST OF FINE GRADING OF CONSTRUCTION AREAS, REMOVAL OF CONSTRUCTION SIGNS, ETC. TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS, FOLLOWED BY SEED, FERTILIZER AND EROSION MAT OR STRAW MULCH, OR AS FURTHER REQUIRED BY THE LANDSCAPING PLANS AND SPECIFICATIONS. ALL REQUIRED RESTORATION ITEMS NOT SPECIFICALLY IDENTIFIED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- ALL RESTORATION SHALL BE SPECIFIED ON THE PLANS AND IN THE SPECIFICATIONS. NON PAY ITEMS SHALL BE INCIDENTAL TO THE PROJECT.
- THE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL NOTIFY THE CITY OF NOVI, CITY OF NOVI FIRE DEPARTMENT, THE OAKLAND COUNTY SHERIFF'S DEPARTMENT, AND THE ROAD COMMISSION FOR OAKLAND COUNTY TWO (2) WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CULVERTS REMOVED DURING CONSTRUCTION SHALL BE PLACED BACK IN THEIR ORIGINAL POSITION. THIS WORK IS INCIDENTAL TO THE PROJECT. ANY CULVERTS SHOWN ON PLAN DAMAGED BY THE CONTRACTOR DURING REMOVAL, SHALL BE REPLACED WITH NEW CULVERTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES, AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE FIELD ENGINEER OR THE OAKLAND COUNTY ROAD COMMISSION. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD.)
- ALL LOT MARKERS AND MONUMENT POINTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING REQUIRED TO CONSTRUCT THE PROPOSED UTILITIES. COST OF DEWATERING SHALL BE INCIDENTAL TO THE PROJECT.

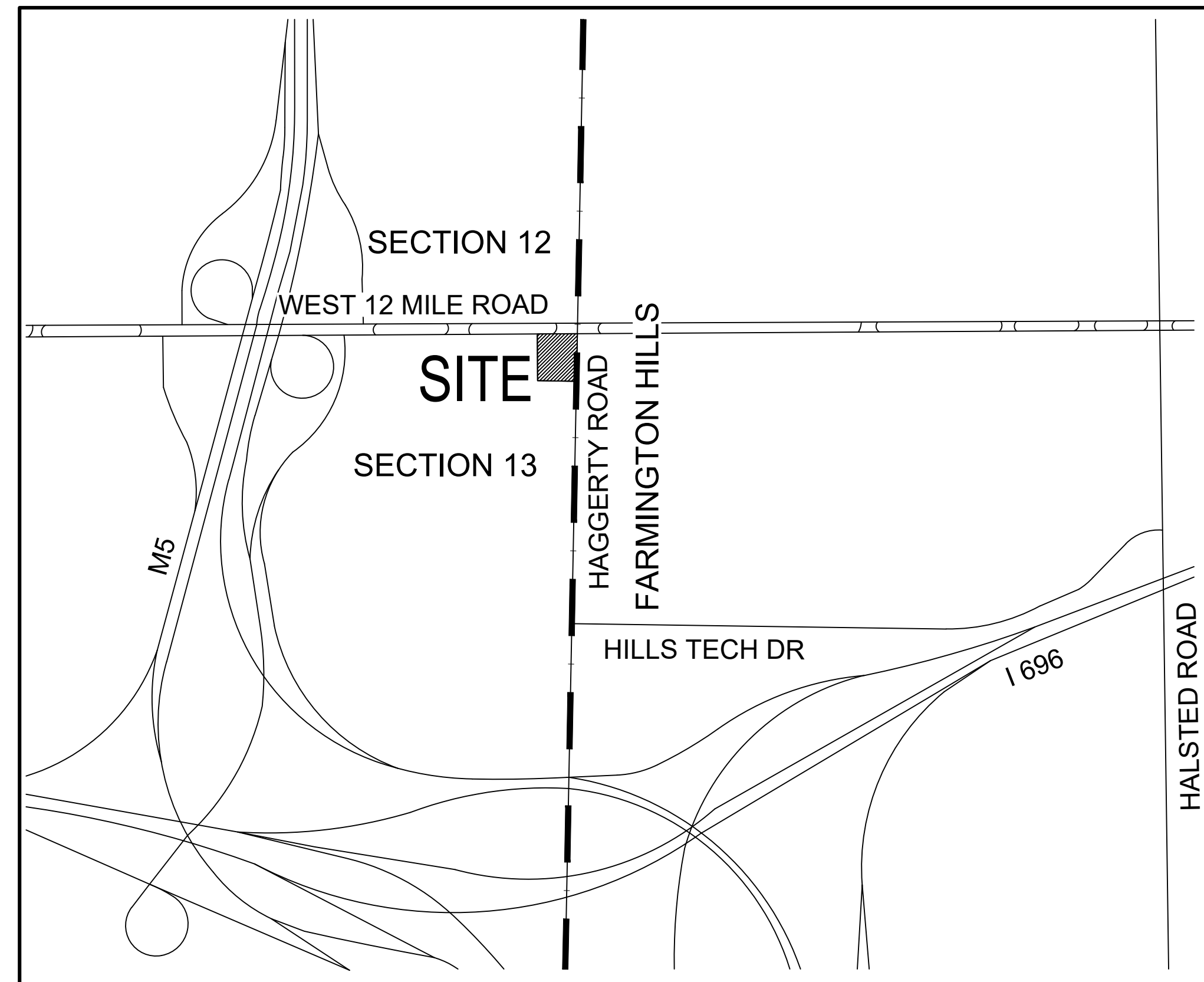
# SHEETZ NOVI, MI (HAGGERTY)

## 39471 W. 12 MILE ROAD, NOVI, MI 48377

### PARCEL NO. 22-13-200-016

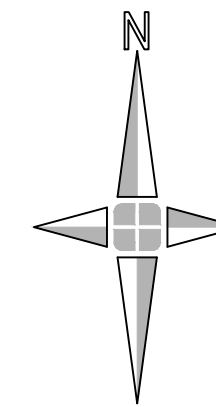
### PRELIMINARY SITE PLAN

#### CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



**LOCATION MAP**

SCALE: 1" = 1000'



**SHEET INDEX**

**ENGINEERING PLANS**

- C1 COVER
- C2 EXISTING CONDITIONS/TOPOGRAPHIC SURVEY
- C3 DEMOLITION PLAN
- C4 SESC PLAN
- C5 SITE AND PAVING PLAN
- C6 GRADING PLAN
- C7 UTILITY PLAN
- C8 STORM WATER MANAGEMENT PLAN
- C9 SITE DETAILS
- C10 SITE DETAILS
- C11 MDOT RAMP DETAILS
- C12 SITE DISTANCE AND FIRE TRUCK TURNING
- C13 WETLAND PLAN
- C14 CONCEPTUAL MITIGATION PLAN
- C15 MITIGATION AREA TREE REMOVAL
- C16 OUTDOOR SEATING CUT SHEETS

**LANDSCAPE PLANS**

- L-100 LANDSCAPE PLAN
- L-200 LANDSCAPE NOTES & CALCULATIONS

**SHEETS BY OTHERS**

**ARCHITECTURAL PLANS**

- A100 FLOOR PLAN
- A200-201 BUILDING ELEVATIONS
- AWNING AWING ELEVATIONS
- CANOPY GAS CANOPY DETAILS
- 1 SHEET TRASH ENCLOSURE
- 1 SHEET PERIMETER WALL DETAILS



Engineers  
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 p (248) 852-3100  
 f (313) 962-5068  
 www.giffelswebster.com

Executive:	NS
Manager:	NS
Designer:	NS
Quality Control:	JR
Section:	13
T-01-N R-08-E	

Professional Seal:



Know what's below.  
 Call before you dig.

DATE	ISSUE
02.13.2024	OWNER REVIEW
03.04.2024	SUBMIT PRELIMINARY SITE PLAN
06.07.2024	RESUBMIT PRELIMINARY SITE PLAN
07.12.2024	REVISED LAYOUT PER WETLAND COMMENTS
07.31.2024	RESUBMIT PRELIMINARY SITE PLAN
09.25.2024	REVISE WETLAND MITIGATION AREAS
10.10.2024	SUBMIT FOR ZBA APPROVAL

**SKILKEN | GOLD**  
 Real Estate Development  
 4270 MORSE ROAD  
 COLUMBUS, OH 43230  
 614.418.3100

COVER

SHEETZ NOVI, MI  
 (HAGGERTY)

CITY OF NOVI  
 OAKLAND COUNTY  
 MICHIGAN

Date:	11.08.2023
Scale:	NA
Sheet:	C1
Project:	20415.00

CITY OF NOVI PROJECT NUMBER:  
 JSP23-33

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**SKILKEN GOLD**  
Real Estate Development  
4270 MORSE ROAD  
COLUMBUS, OH 43230  
614.418.3100

TOPOGRAPHIC SURVEY

SHEET# NOVI, MI (HAGGERTY)

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date:	11.08.2023
Scale:	1"=30'
Sheet:	C2
Project:	20415.00

BENCH MARK DATA

NAVD88 VERTICAL DATUM  
SITE BENCH MARK NO. 1

ARROW ON HYDRANT (1998) ON THE SOUTH SIDE OF 12 MILE ROAD AND 3400 FEET WEST OF HAGGERTY ROAD.  
ELEVATION=909.57

SITE BENCH MARK NO. 2  
SET MAG NAIL ON NORTHEAST FACE OF A UTILITY POLE LOCATED ON THE WEST SIDE OF HAGGERTY ROAD ON THE NORTH SIDE OF THE ENTRANCE TO SITE #170 FEET SOUTH OF 12 MILE ROAD.  
ELEVATION=901.89

NOTES:

- TELEPHONE, GAS, ELECTRIC, CABLE TV, STEAM, PUBLIC LIGHTING, WATER, SEWER UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- THIS PARCEL IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE FEDERAL INSURANCE RATE MAP, PANEL NUMBER 631 OF 704, MAP NUMBER 261250031F, EFFECTIVE DATE SEPTEMBER 29, 2006.
- GAS & WATER LEAD LOCATION SHOULD BE CONSIDERED AS APPROXIMATE.
- TREE INVENTORY WAS ACCURATE AT DATE OF SURVEY, AND DOES NOT REFLECT ANY TREES INSTALLED OR REMOVED AFTER SAID DATE.

LEGEND - EXISTING

	SECTION LINE		SAN. MH		GAS METER
	FENCE		SAN. CLEAN OUT		GAS RISER
	GUARD RAIL		SAN. RISER		GAS VALVE
	WALL		GATE VALVE		GAS MH
	TREE LINE		HYDRANT		TELE. RISER
	WATER EDGE		WATER VALVE		TELE. MH
	WETLAND LINE		WATER METER		TELE. CROSS BOX
	STORM LINE		WELL HEAD		CABLE RISER
	SAN. LINE		FDC CONNECTION		SIGN
	WATER LINE		IRRIGATION CONTROL BOX		PROT. POSTGUARD POST
	GAS LINE		STORM MH		GUY
	UG ELEC. LINE		CATCH BASIN		RESIDENTIAL MAILBOX
	UG TEL. LINE		BEEHIVE CB		U.S. MAILBOX
	UG CABLE TV LINE		CULVERT E.S.		EXISTING ELEVATION
	ELECTRIC OVERHEAD		ROOF/DOWN SPOUT OVERFLOW/OUTLET STRUCTURE		SOIL BORING
	EX FORESTED WETLANDS		STORM CLEAN OUT		MONITORING WELL
	EX INUNDATED SHRUB SWAMP REMNANT		STORM CB		FOUND IRON
			LIGHT POLE		FOUND NAIL
			UTILITY POLE		SECTION COR.
			ELEC. TRANS.		FENCE POST
			AIR CONDITIONER		BENCHMARK
			ELEC. MH		FOUND PIPE
			ELEC. METER		FOUND MON.
			ELEC. RISER		
			TRAFFIC CONTROL BOX		
			PUBLIC LIGHTING MH		

NOTE:

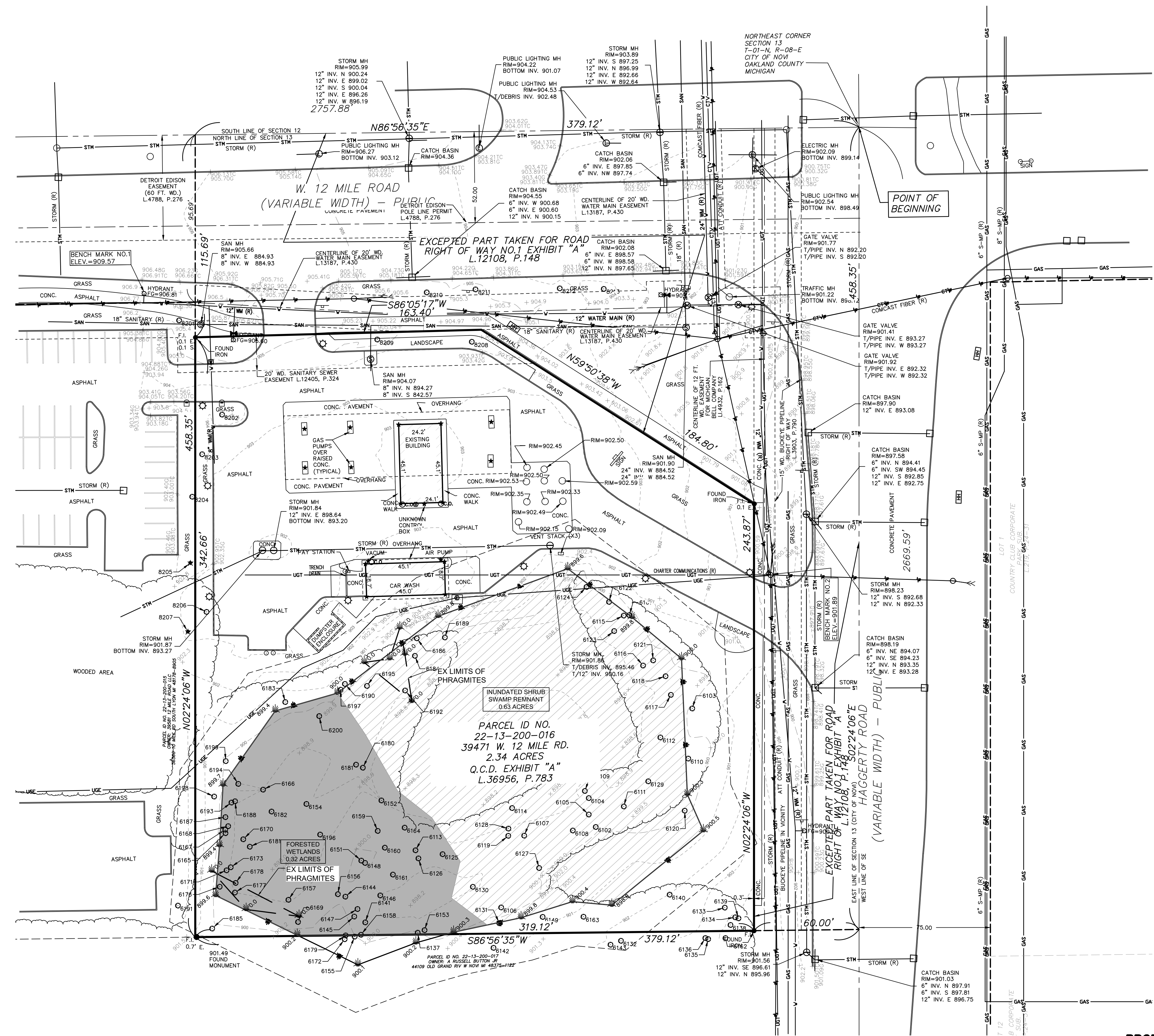
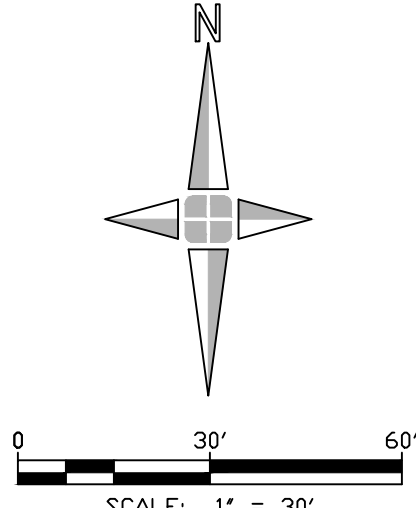
1. NO JAPANESE KNOTWEED FOUND ON SITE. PHRAGMITE LOCATIONS SHOWN ON PLAN.

PROPERTY DESCRIPTION

PER TITLE COMMITMENT NO. 7-10411, PREPARED BY NORTHWEST TITLE FAMILY OF COMPANIES, INC., AN AGENT FOR OLD REPUBLIC NATIONAL INSURANCE COMPANY, DATED NOVEMBER 8, 2022 (REVISION NUMBER: 20221212-0416 PM)

LAND IN THE CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 13, TOWN 1 NORTH, RANGE 8 EAST, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SECTION 13, TOWN 1 NORTH, RANGE 8 EAST; THENCE SOUTH 02 DEGREES 24 MINUTES 06 SECONDS EAST 458.35 FEET ALONG THE EAST LINE OF SAID SECTION 13; THENCE SOUTH 86 DEGREES 56 MINUTES 35 SECONDS WEST 379.12 FEET; THENCE NORTH 02 DEGREES 24 MINUTES 06 SECONDS WEST 458.35 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 13; THENCE NORTH 86 DEGREES 56 MINUTES 35 SECONDS EAST 379.12 FEET TO THE POINT OF BEGINNING. EXCEPTING THEREFROM THOSE PARTS TAKEN FOR ROAD DESCRIBED AS: BEGINNING AT THE NORTHEAST SECTION CORNER; THENCE SOUTH 02 DEGREES 24 MINUTES 06 SECONDS EAST 458.35 FEET; THENCE SOUTH 86 DEGREES 56 MINUTES 35 SECONDS WEST 60 FEET; THENCE NORTH 02 DEGREES 24 MINUTES 06 SECONDS WEST 243.87 FEET; THENCE NORTH 59 DEGREES 50 MINUTES 38 SECONDS WEST 184.80 FEET; THENCE SOUTH 86 DEGREES 56 MINUTES 35 SECONDS WEST 243.87 FEET; THENCE NORTH 02 DEGREES 24 MINUTES 06 SECONDS WEST 115.69 FEET; THENCE NORTH 86 DEGREES 56 MINUTES 35 SECONDS EAST 379.12 FEET TO THE POINT OF BEGINNING.





Executive:	NS
Manager:	NS
Designer:	NS
Quality Control:	JR
Section:	13
	T-01-N R-08-E

Professional Seal:



DATE:	ISSUE:
02.13.2024	OWNER REVIEW
03.04.2024	SUBMIT PRELIMINARY SITE PLAN
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**SKILKEN | GOLD**  
Real Estate Development  
4270 MORSE ROAD  
COLUMBUS, OH 43230  
614.418.3100

**SITE AND PAVING PLAN**

SHEETZ NOVI, MI (HAGGERTY)

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date:	11.08.2023
Scale:	1"=20'
Sheet:	C5
Project:	20415.00

**PARKING CALCULATIONS:**  
REQUIRED:  
RETAIL PARKING REQUIREMENTS  
1 SPACE PER 200 USABLE FLOOR SPACE  
4535 SF / 200 = 22.68 SPACES  
CARRYOUT REQUIREMENTS  
1 SPACE PER EVERY 2 EMPLOYEES PLUS 1 SPACE PER 2 OCCUPANTS ALLOWED IN CAPACITY  
PER PROVIDED SPACE PLANNING = 34 PEOPLE = 17 SPACES  
TOTAL REQUIRED: 40 SPACES

PROVIDED:  
41 SPACES (INCLUDES 2 HANDICAP SPACES)

LOADING: 1 LOADING SPACE REQUIRED (15'x80') PROVIDED.

BICYCLE PARKING:  
REQUIRED:  
RETAIL PARKING REQUIREMENTS  
1 SPACE PER 5% OF REQUIRED AUTOMOBILE SPACES  
40 SPACES x 0.05 = 2 SPACES

PROVIDED:  
2 SPACES

**LEGEND:**

	PR GATE VALVE AND WELL		PR UTILITY CROSSING
	PR HYDRANT		PR CONTOUR MINOR (1')
	PR VALVE AND BOX		PR CONTOUR MAJOR (5')
	PR WATERMAIN		PR SPOT ELEVATION
	PR STORM CATCH BASIN		PR SWALE
	PR STORM MANHOLE		PR CURB AND GUTTER
	PR STORM END SECTION		PR REVERSE CURB AND GUTTER
	PR RIP RAP		PR STD. DUTY ASPHALT SEE DETAIL SHEET C-9
	PR STORM SEWER		PR CONCRETE PAVEMENT SEE DETAIL SHEET C-9
	PR ROOF DRAIN		PR CONCRETE WALK SEE DETAIL SHEET C-9
	PR CLEAN OUT		PR BRICK PAVER WALK
	PR SANITARY MANHOLE		
	PR SANITARY SEWER		
	PR UNDERGROUND ELECTRIC SERVICE		
	PR UNDERGROUND GAS SERVICE		
	PR UNDERGROUND TELEPHONE SERVICE		

**PAVING NOTES:**

- THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
- BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.
- ALL PAVEMENT AREAS SHOULD BE CLEARED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEBRIS AND OTHER DELETERIOUS MATERIALS.
- THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED, OR AS APPROVED BY THE OWNER. A BOND COAT OF SS-1H EMULSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y.D.) BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENTS.
- PROPOSED AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVEMENT EDGE/BACK OF CURB.
- BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STALL. THE CONTRACTOR SHALL COORDINATE STANDARD AND VAN ACCESSIBILITY SIGNAGE AS INDICATED ON THE PLANS.
- ALL BARRIER FREE RAMPS, WALK, LANDINGS AND CURBS SHALL BE A.D.A. COMPLIANT AND MEET MDOT STANDARD PLAN R-28.
- GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:  
A. FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, DOORWAYS OR BASEMENT WINDOWS  
B. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING: 5% FOR FIRST 10' THEN 2% AFTER  
C. SIDEWALK CROSS SLOPE SHALL BE A MAXIMUM OF 2%  
D. PAVEMENT SLOPES (1.0% MINIMUM, 4.0% MAXIMUM) UNIFORMLY BETWEEN FINISH GRADE ON PLANS  
E. LAWN AREAS 2% MINIMUM TO 25% (BERMS) MAXIMUM  
9. DIMENSIONS ARE TO FACE OF CURB.

**OUTDOOR SEATING:**

- NO ALCOHOL WILL BE SERVED IN THE OUTDOOR SEATING AREAS.
- OUTDOOR SEATING SHALL BE ALLOWED 24 HOURS A DAY (SAME AS THE RESTAURANT)

**SIGNAGE NOTES:**

- SIGNS 12"x18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST.
- SIGNS GREATER THAN 12"x18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHANNEL POST.
- SIGN BOTTOM HEIGHT SHALL BE 7' FROM FINAL GRADE.
- SIGNING SHALL BE PLACED 2' FROM THE FACE OF THE CURB OR EDGE OF THE NEAREST SIDEWALK TO THE NEAR EDGE OF THE SIGN.
- FHWA STANDARD ALPHABET SERIES SHALL BE USED FOR ALL SIGN LANGUAGE PER MMUTCD.
- HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY.

**SITE PLAN NOTES:**

- SHEETZ WILL GET A RETAIL TIER, OFF-PREMISES LICENSE TO SELL ALCOHOL. A MINIMUM INVENTORY WILL BE MAINTAINED, EXCLUDING ALCOHOL AND MOTOR VEHICLE FUEL, OF NOT LESS THAN \$250,000, AT COST, OF THOSE GOODS AND SERVICES CUSTOMARILY MARKETED BY APPROVED TYPES OF BUSINESSES.
- THE SITE OF PAYMENT AND SELECTION OF ALCOHOLIC LIQUOR IS NOT LESS THAN 50' FROM WHERE MOTOR VEHICLE FUEL IS DISPENSED.
- THE BUILDING ARE FROM WHICH ALCOHOLIC LIQUOR SOLD IS 6,132 SF.
- PROPANE IS PROPOSED TO BE STORED OUTSIDE DUE TO COMBUSTIBILITY AND SCREENED PER DETAIL ON SHEET XXXXX.
- NO OVERNIGHT STORAGE OF VEHICLES IS PERMITTED.

**FIRE MARSHALL NOTES:**

- ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL BROUGHT ON SITE.
- FOR NEW BUILDINGS AND EXISTING BUILDINGS, COMPLIANCE WITH IFC SECTION 510 FOR EMERGENCY RADIO COVERAGE MUST BE MET. THIS SHALL BE COMPLETED BY THE TIME THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION PERMITS.

**FIRE TRUCK TURNING NOTE:**  
SEE SITE DETAIL SHEET FOR FIRE TRUCK TURNING DIAGRAMS.

**WOODLANDS/WETLANDS NOTE:**  
WOODLANDS AND WETLANDS ARE BEING AFFECTED BY THE PROPOSED REDEVELOPMENT OF THE SITE. SEE DEMOLITION PLAN FOR TREE REMOVALS AND LANDSCAPE PLANS FOR REPLACEMENT INFORMATION. SEE SHEET 12 FOR WETLAND IMPACTS AND XXXX FOR MITIGATION INFORMATION.

**BIKE RACK DETAIL NOTE:**  
6' OF CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE PROPOSED BIKE RACK AT ALL TIMES. SEE LANDSCAPE PLAN FOR BIKE RACK LOCATION. SEE SITE DETAIL SHEET FOR BIKE RACK ENLARGED DETAIL.

**TRAFFIC SIGNING:**

ITEM	MMUTCD CODE	DESCRIPTION	SIZE	QUANTITY
(A)	R7-8	HANDICAP PARKING ONLY	12"x18"	2
(B)	R7-8P	VAN ACCESSIBLE	18"x9"	2
(C)	R1-1	STOP SIGN	30"x30"	2

**PAVEMENT AREA: 52,682 SF**

**SCHEDULE OF REGULATIONS:**  
ZONING DISTRICT: B3

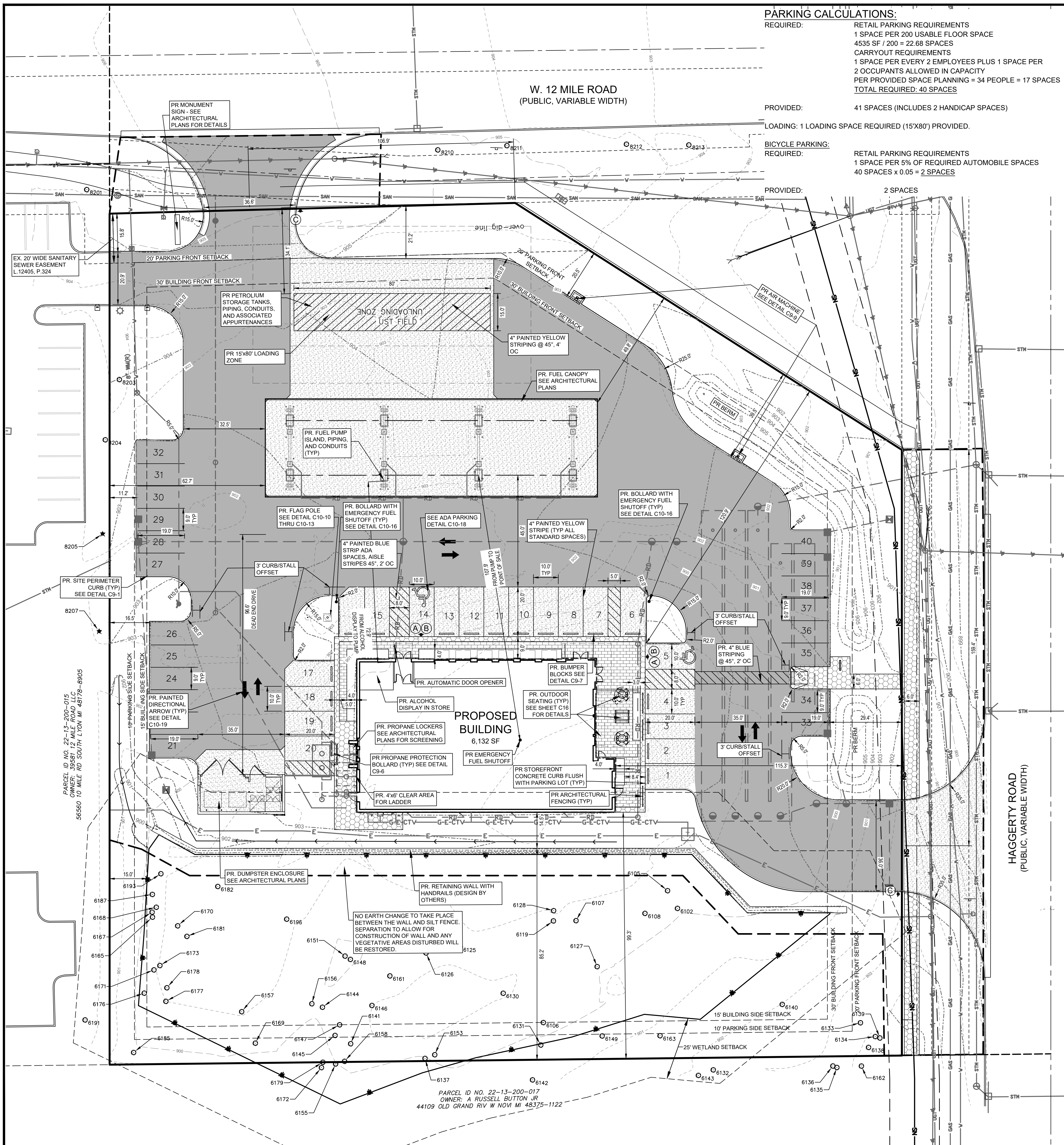
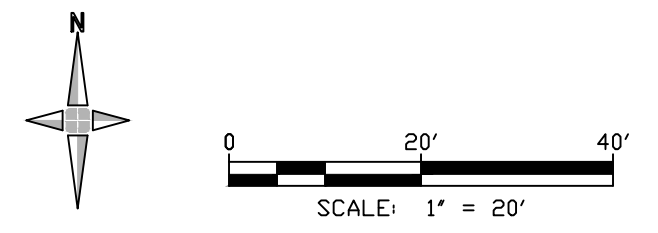
PROPOSED GROSS LEASABLE FLOOR AREA - 6,132 SF

**YARD REQUIREMENTS: (BUILDING)**

	REQUIRED	PROVIDED
FRONT (HAGGERTY) -	30'	115'
FRONT (12 MILE) -	30'	49'
REAR -	15'	99'
SIDE -	15'	62'

**YARD REQUIREMENTS: (PARKING)**

	REQUIRED	PROVIDED
FRONT (HAGGERTY) -	20'	28'
FRONT (12 MILE) -	20'	20'
REAR -	15'	69'
SIDE -	10'	10'

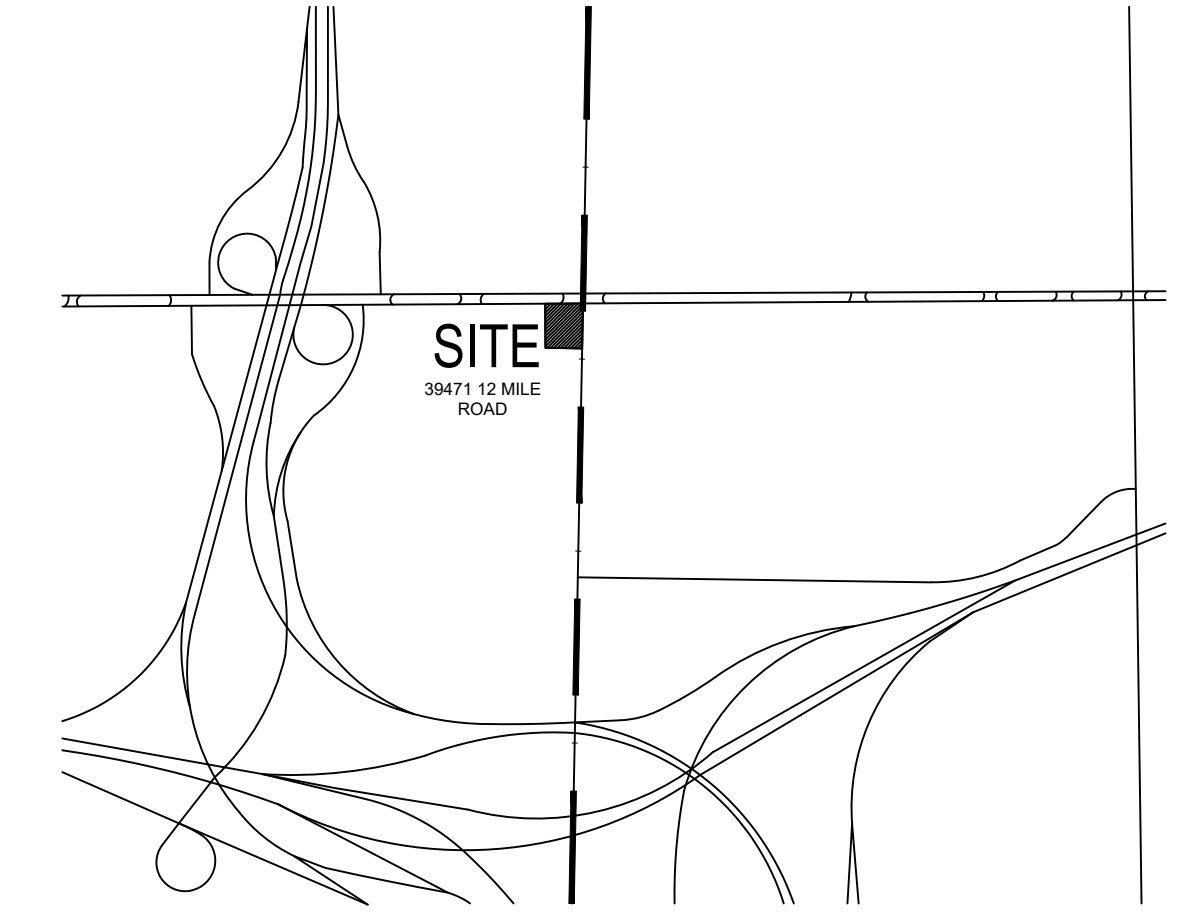




**TREE DESIGNATION KEY:**

QTY	DESIGNATION TYPE	SYMBOL
8	PREMITER TREES (WEST PROP. LINE)	(P)
13	INTERIOR TREES	(N)
7	PERMITER TREES (FRONT YARD)	(F)
	RCOC TREES (R.O.W.)	(R)
	ACCESS WAY PERMITER	(A)

- NOTES:**
- WARDII YEWIS IN CORNER ISLANDS SHALL BE MAINTAINED NO TALLER THAN 30' AND THE ONES IN THE ROAD GREENBELT SHALL BE A MINIMUM OF 36" TALL.
  - TREES SHALL BE AT LEAST 10' FROM HYDRANTS, UTILITY STRUCTURES, AND SANITARY SEWER LINES AND 5' FROM ALL OTHER UNDERGROUND UTILITIES. SITE WILL BE IRRIGATED. IRRIGATION PLAN WILL BE PROVIDED WITH FINAL SITE PLAN.
  - SEE GRADING PLAN FOR BERM CROSS SECTION.
  - 82 REPLACEMENT TREES REQUIRED WHICH WILL BE PAID IN TO THE TREE FUND 82 X \$400 = \$32,800



**giffels webster**

Engineers  
Surveyors  
Planners  
Landscape Architects

1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 852-3100  
f (313) 962-5068  
www.giffelswebster.com

Executive: NS  
Manager: NS  
Designer: RS  
Quality Control: JR  
Section: 13  
T-01-N R-08-E

Professional Seal:  
STATE OF MICHIGAN  
LANDSCAPE ARCHITECT  
MARK JON HANSEN  
No. 178  
Tree Landscape

**R.O.W. GREENBELT PLANT LIST:**

**TREES**

QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE
4	MS	Valley Forge Elm	ULMUS AMERICANA 'VALLEY FORGE'	2-1/2" Cal. B&B
3	TJ	Hackberry	CELTIS OCCIDENTALIS	2-1/2" Cal. B&B
7		Total Trees		

**ORNAMENTAL TREES**

QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE
8	AB	Smooth Saverberry	AMELANCHIERA FLAVES	2" Cal. Multi-stem B&B
7	CC	Flowering Dogwood	CORNUS FLORIDA	2" Cal. B&B
3	CR	Camelot Crabapple	MALUS 'CAMMAM'	2" Cal. B&B
18		Total Trees		

**SHRUBS:**

QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE
33	HYW	Hicks Yew	TAXUS X MEDIA 'HICKSIF'	40" HL, Hedge to 36" HL, 30" o.c.
27	GLS	Gro-Low Suniac	PAHUS AROMATICA 'GRO-LOW'	24" HL
60		Total Shrubs		

**PERIMETER & INTERIOR LANDSCAPE PLANT LIST:**

**TREES**

QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE
7	GB	Tulip Tree	LIRIODENDRON TULIPIFERA	3" Cal. B&B
7	HL	Skyloke Skyline Honey Locust	GLEDITSIA TRICANTHOS INERMIS 'SKYCOLE'	3" Cal. B&B
14		Total Deciduous Canopy Trees		

**ORNAMENTAL TREES**

QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE
3	HP	American Hornbeam	CARPANUS CAROLINIANA	3" Cal. B&B
3		Total Ornamental Trees		

**SHRUBS**

QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE
47	RTD	Redstart Dogwood	CORNUS SERICEA	36" HL
12	GLS	Gro-Low Suniac	PAHUS AROMATICA 'GRO-LOW'	36" HL
16	HYW	Hicks Yew	TAXUS X MEDIA 'HICKSIF'	36" HL
108	WAR	Wardii Yew	TAXUS X MEDIA 'WARDII'	36" B&B (Maintained at 30" max. High)
5	NIE	Ninebark	PHYSCARPUS OPIULIFOLIUS	36" HL
47	VB	Arrowwood viburnum	VIBURNUM DENTATUM	36" HL
13	JUN	Willow Blue Rug Juniper	JUNIPERUS HORIZONTALIS 'WILTON'	24" HL
243		Total Shrubs		

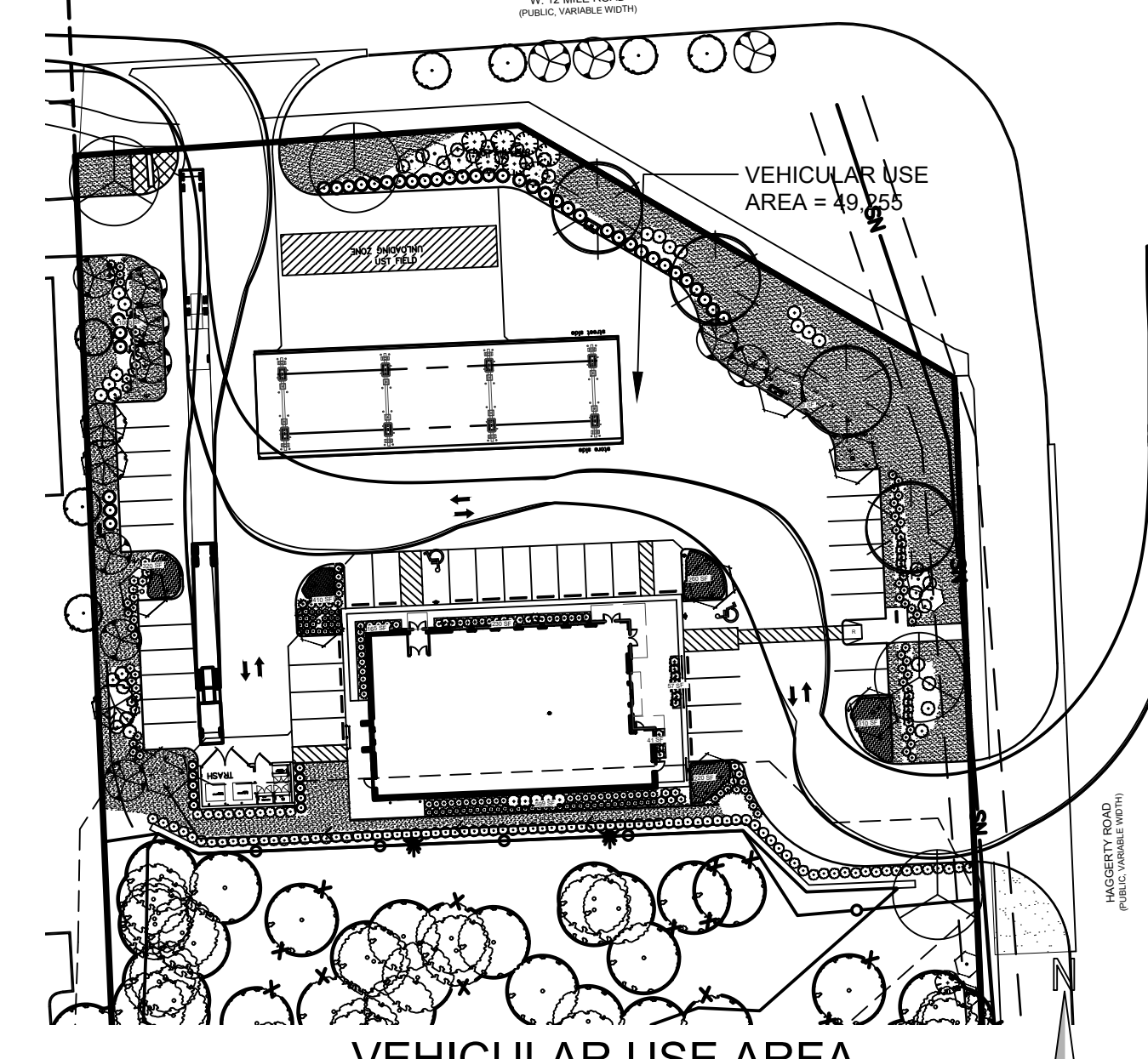
**ORNAMENTAL GRASSES / PERENNIALS / GROUND COVER**

QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE
66	HAM	Hamelin Fountain Grass	PENNISETUM ALOPECUROIDES 'HA MELN'	1 Gal
26	LIR	North Lily Turf	LIRIOPE NOMOY	36" Cal Pack
51	AJU	Catlin's Giant Ajala	AJUCA REPTANS 'CATLIN'S GIANT'	1 Gal
9	CAL	American White Camellia	CALAMINtha NERPA MONTROSE WHITE	1 Gal

NOTE: 6 Sub-Canopy Trees in the Greenbelt count as 4 Canopy Trees for the Perimeter Tree Requirements of 12 Trees.

**LAWN SEED MIX:**

30% PERENNIAL RYGRASS  
20% PARK KENTUCKY BLUEGRASS  
45% CREEPING RED FESCUE  
5% ANNUAL RYEGRASS  
4#/1000 S.F. SEEDING RATE



DATE:	ISSUE:
02.13.2024	OWNER REVIEW
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**SKILKEN GOLD**  
Real Estate Development

4270 MORSE ROAD  
COLUMBUS, OH 43230

614.418.3100

**LANDSCAPE PLAN**

SHEET# NOVI, MI (HAGGERTY)

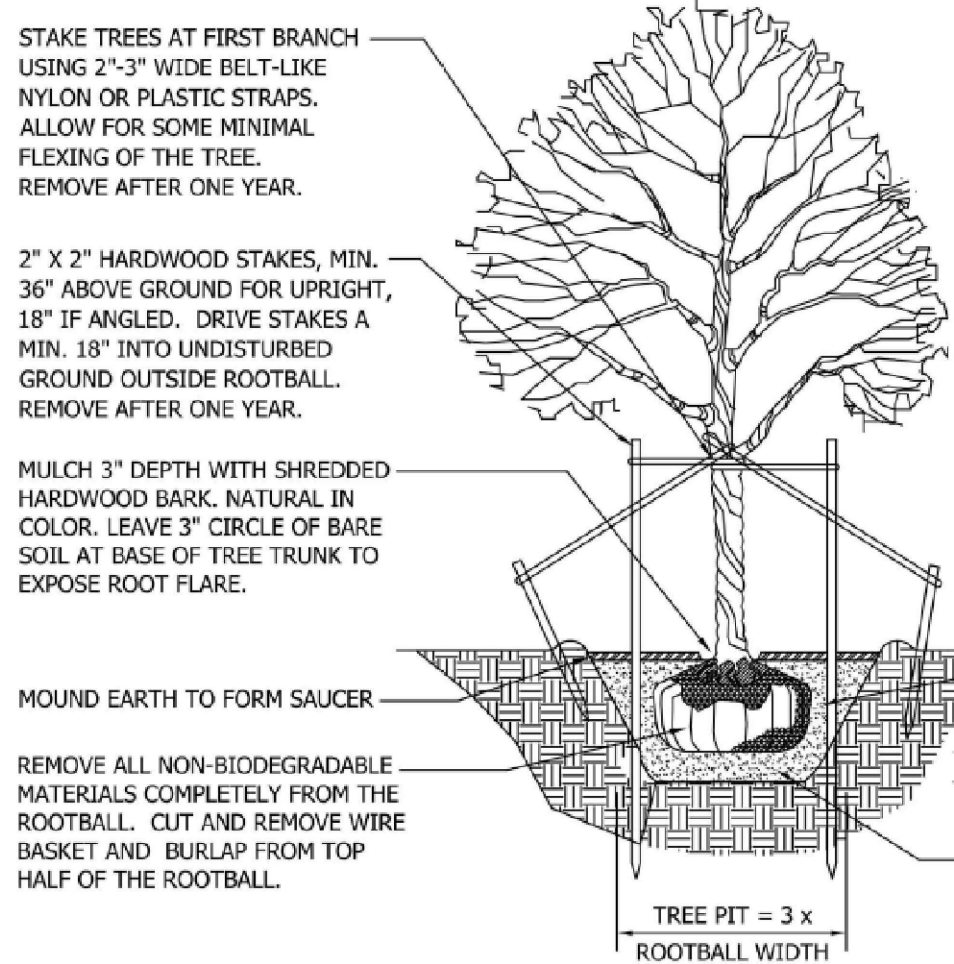
CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 11.08.2023  
Scale: 1" = 20'  
Sheet: L-100  
Project: 20415.00

H:\2024\20415.00\_Sheetz\Novi, MI (Haggerty)\Design\CAD\Work\_Sheets\L-100\_Landscape Plan.dwg



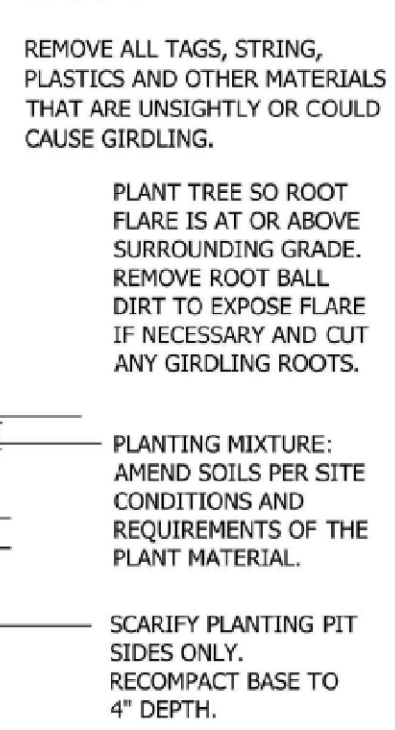
NOTE:  
GUY DECIDUOUS TREES ABOVE 3" CAL. STAKE DECIDUOUS TREES BELOW 3" CAL.



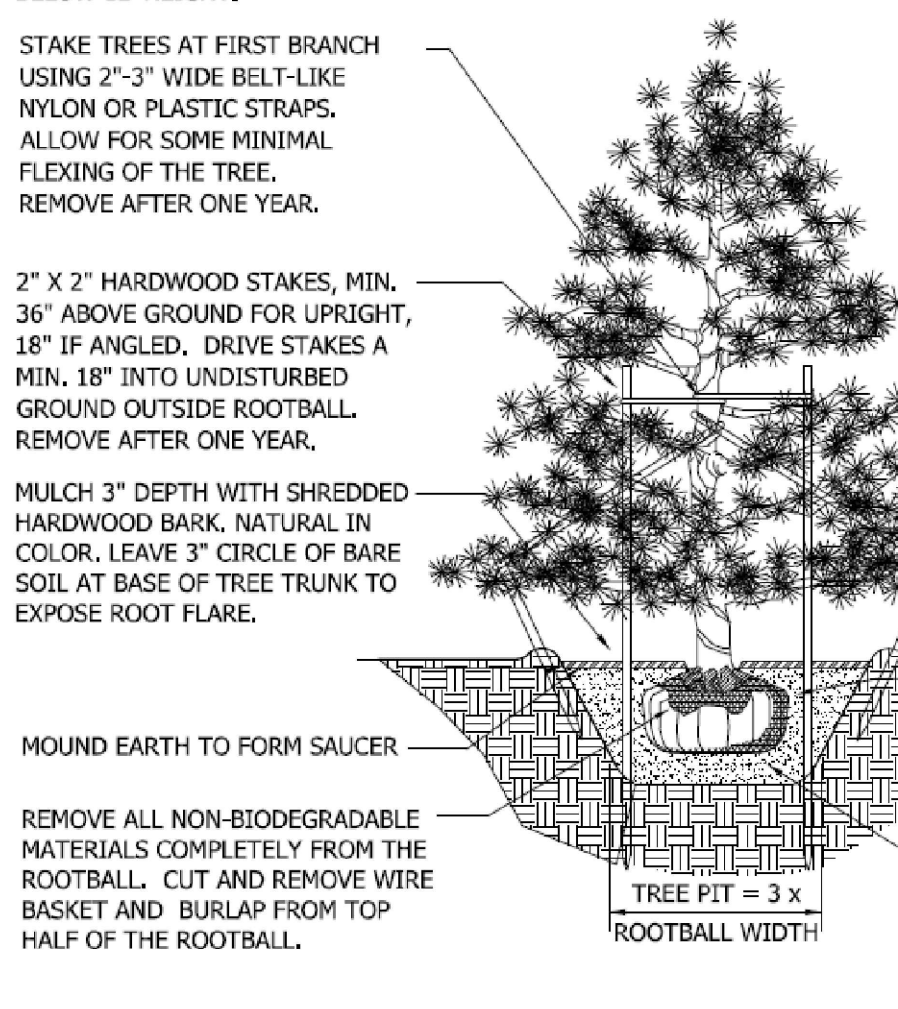
### DECIDUOUS TREE PLANTING DETAIL

Not to scale

NOTE:  
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.



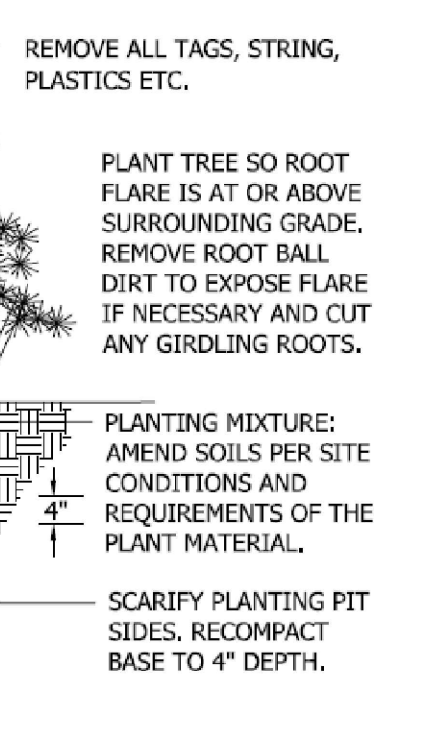
NOTE:  
GUY EVERGREEN TREES ABOVE 12" HEIGHT. STAKE EVERGREEN TREE BELOW 12" HEIGHT.



### EVERGREEN TREE PLANTING DETAIL

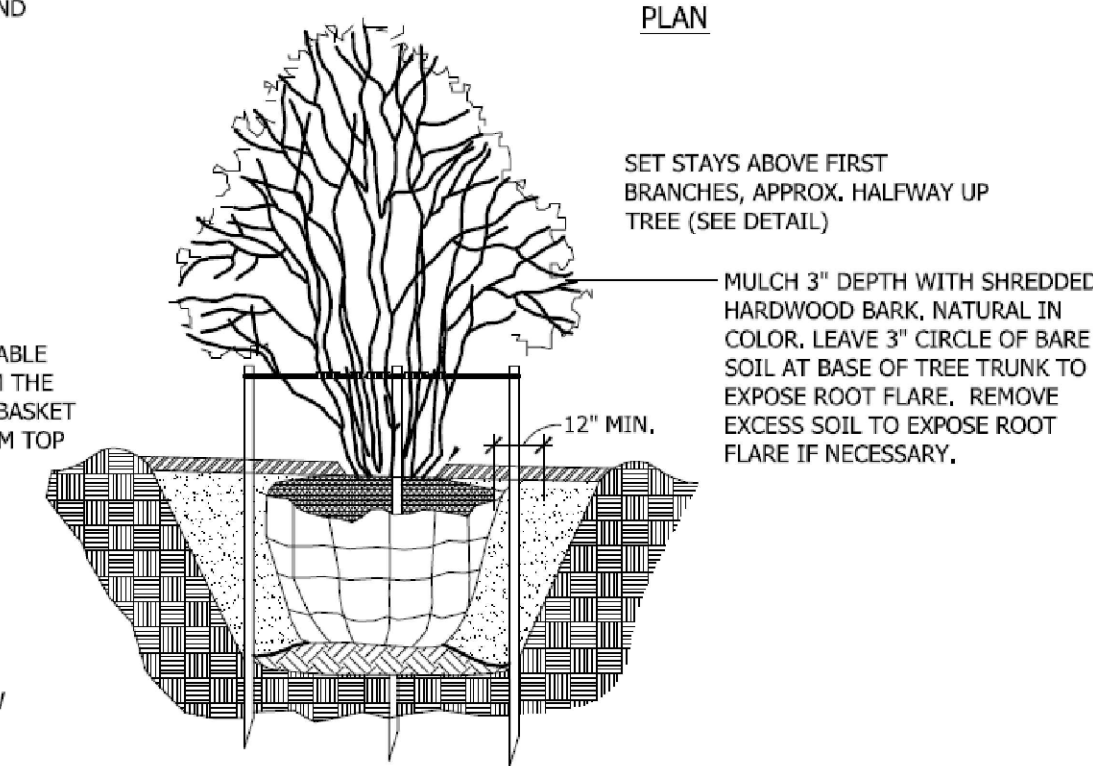
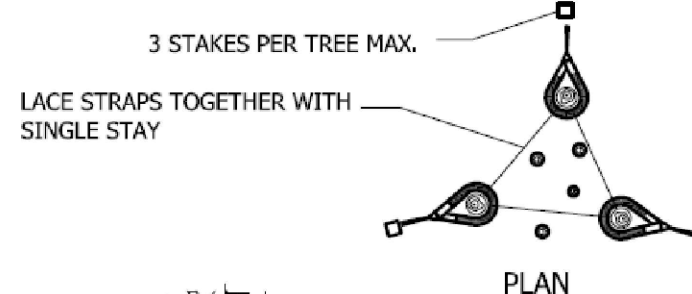
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NOTE:  
SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.



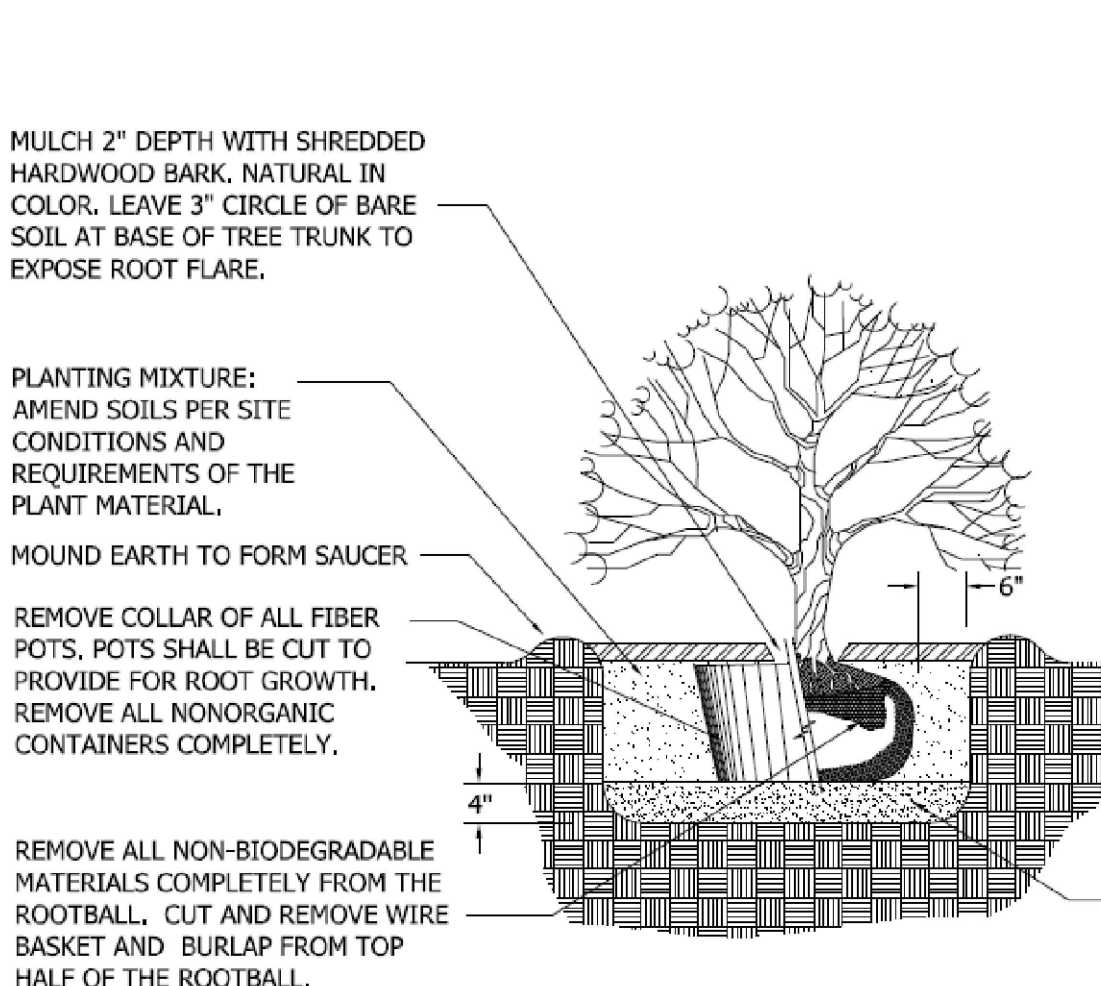
### PERENNIAL PLANTING DETAIL

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### MULTI-STEM TREE PLANTING DETAIL

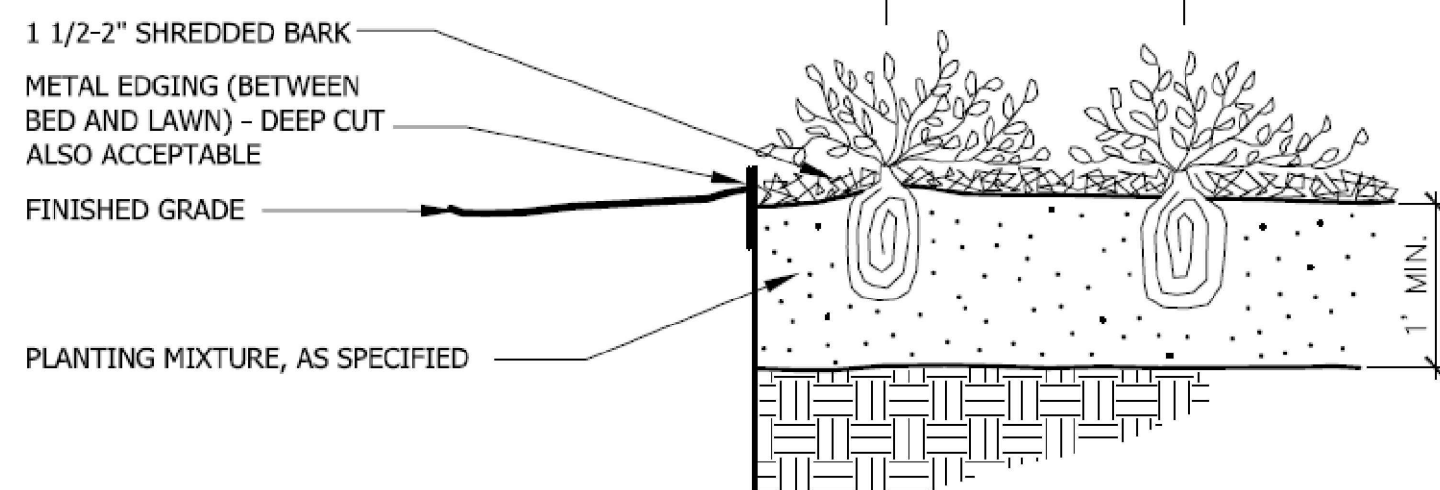
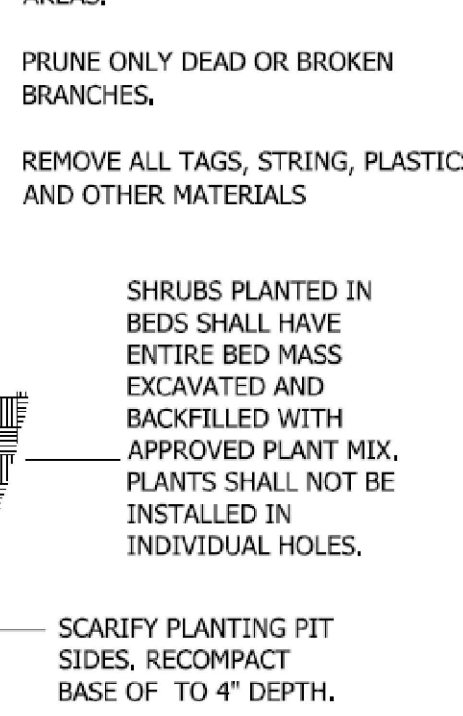
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### SHRUB PLANTING DETAIL

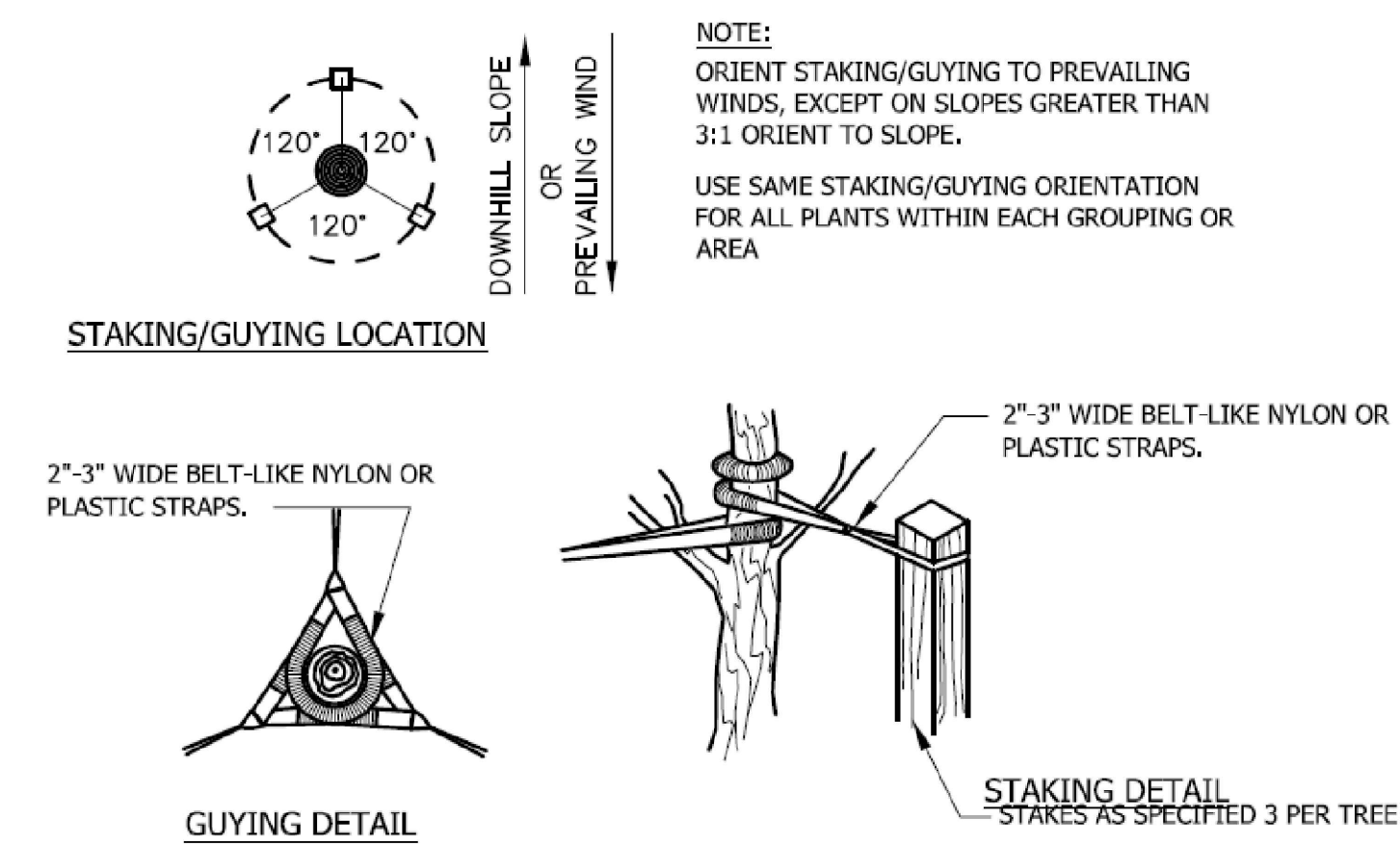
NOT TO SCALE

NOTE:  
SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.



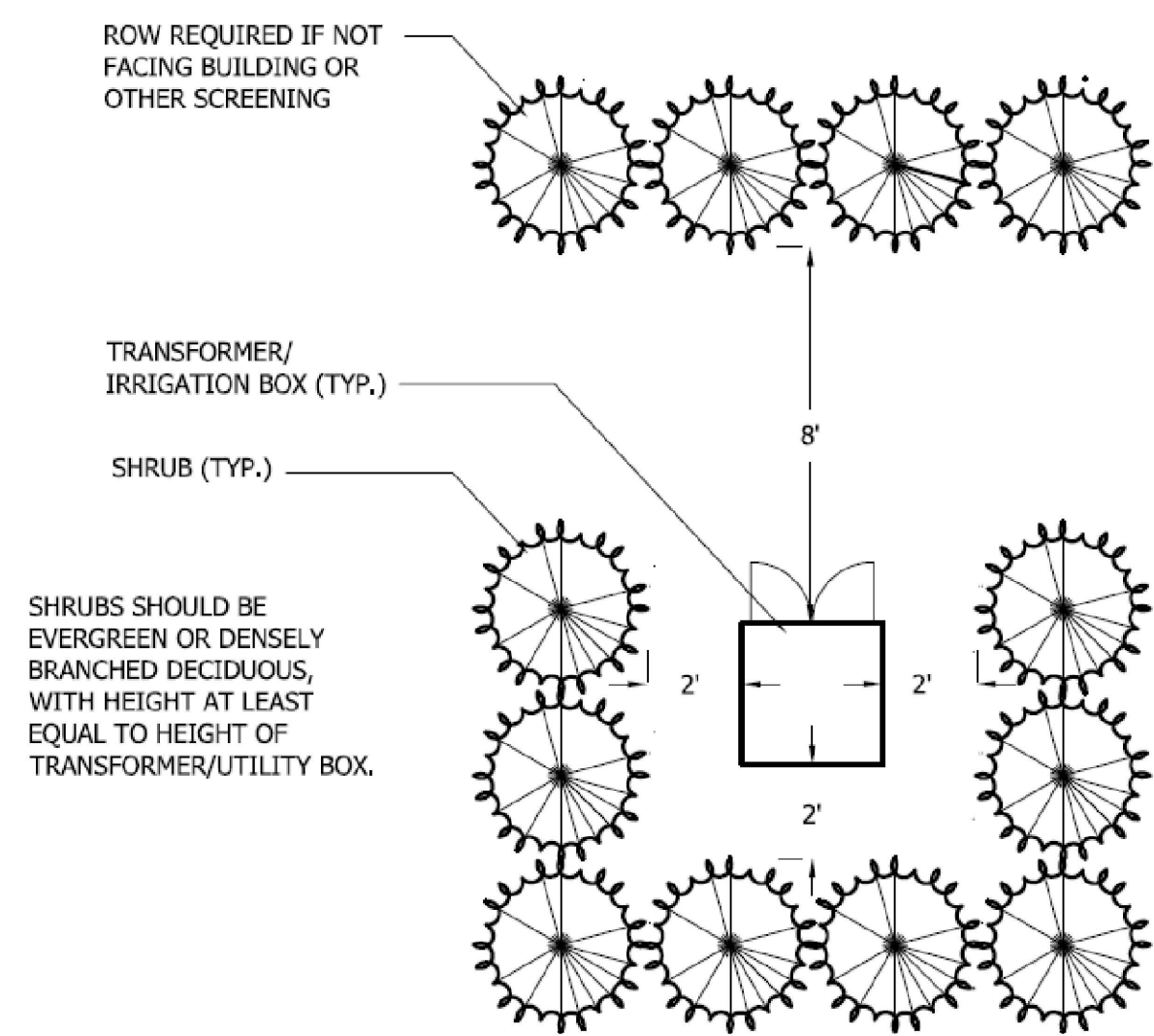
### PERENNIAL PLANTING DETAIL

Not to scale



### TREE STAKING DETAIL

Not to scale



### TRANSFORMER SCREENING DETAIL

Not to scale

### LANDSCAPE CALCULATIONS

- Perimeter Tree Landscape Requirements**  
West Side:  
= 180 ft / 35 = 5 trees, 7 trees provided  
Frontage Side:  
= 366 ft / 70 = 5 trees, 7 trees provided within 15' of pavement  
Total Required:  
10 Trees, 14 trees provided.
- Berms, Walls, & ROW Planting requirement**  
3 ft berm required with a 3 ft wide crest required  
6' Evergreen Hedge Maintained at 6' ht. (Waver Requested)
- ROW Landscape Screening:**  
Parking & No Parking 1 tree per 35 ft. XX / 35 = X trees  
12 Mile Road:  
(227 + 39) / 35 = 4 trees; 4 existing trees, 1 canopy trees + 3 sub-canopy trees provided  
Haggerty Road:  
(243 + 66) / 35 = 6 trees; 6 canopy trees provided
- Interior Parking Island Landscape Requirements:**  
Total square footage of parking lot  
49,255 x 7.5% = 3,593.7 sf  
C = 3,662 (4,735 sf provided)  
D = Number of interior canopy trees required  
= C/200  
D = 3,662 / 200 = 18.3 trees required  
14 canopy trees trees provided (Waver Requested)
- Perimeter Parking Landscape Requirements**  
One Canopy Tree per 35 ft  
Parking Lot perimeter = 660 ft  
660 ft / 35 = 18.8 trees (30 canopy trees provided)
- Foundation Landscape Area**  
= Perimeter of Building x 8' (with a minimum width of 4 ft.)  
= 298 ft x 8'  
= 2,384 sf (1,092 sf provided around building, 1,810 sf provided adjacent to Haggerty ROW = 2,902 sf total (Waver Requested))

PLANT MATERIAL REQUIREMENTS:  
GENERAL CONDITIONS / PLANT REQUIREMENTS.

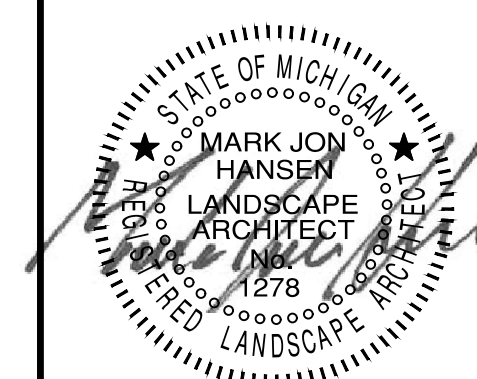
- FOR ALL PLANT MATERIALS, PLANTS NATIVE TO MICHIGAN AND, IDEALLY, OAKLAND COUNTY, ARE TO BE THE FIRST CHOICE. NO FEWER THAN 50% OF THE SPECIES USED, NOT INCLUDING THOSE FOR WOODLAND REPLACEMENTS OR IN SEED MIXES, SHALL BE NATIVE. THE SOURCE OF THE NATIVE PLANTS SHOULD BE LOCAL OR OF THE NORTH MIDWEST AMERICA/GREAT LAKES REGION. (WWW.MICHIGANFLORA.NET MAY BE USED AS A REFERENCE TO DETERMINE WHETHER A SPECIES IS NATIVE).
- ALL PLANT MATERIALS SHALL BE NORTHERN NURSERY GROWN, NO. 1 GRADE, AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. THEY SHALL BE PLANTED ACCORDING TO CITY OF NOVI PLANTING DETAILS AND SPECIFICATIONS. THE CITY SHALL HAVE THE RIGHT TO INSPECT THE PLANT MATERIALS PRIOR TO PLANTING AND TO REJECT ANY PLANT MATERIALS DEEMED NOT TO MEET THE STANDARDS OF THIS ORDINANCE.
- THE SELECTION, SPACING, AND SIZING OF PLANT MATERIALS SHALL DEPEND ON THE USE TO WHICH THE PLANTINGS ARE TO BE PLACED. A MIXTURE OF PLANT MATERIALS (EVERGREEN AND DECIDUOUS TREES AND SHRUBS) AND PLANT SPECIES IS REQUIRED IN ALL LANDSCAPE PLANS AS A PROTECTIVE MEASURE AGAINST DISEASE AND INSECT INFESTATION. PLANT MATERIALS USED TOGETHER IN GROUPINGS FOR SCREENING SHALL MEET THE ON-CENTER SPACING REQUIREMENTS AS SET FORTH IN THIS MANUAL SECTION 1.A.
- PLANT MATERIALS, EXCEPT LAWN, GROUND COVERS OR CREEPING VINE TYPE PLANTINGS, SHALL BE LOCATED AT LEAST 4 FEET FROM THE PROPERTY LINE, AS MEASURED TO THE TRUNK OF DECIDUOUS CANOPY OR SUBCANOPY TREES, OR TO THE MATURE DRIFLINE OF SHRUBS AND EVERGREENS.
- WHERE PLANT MATERIALS ARE PLACED IN 2 OR MORE ROWS FOR SCREENING, PLANTINGS SHALL BE STAGGERED FROM ROW TO ROW.
- ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PARK GRADE TREES ARE NOT ACCEPTABLE. ALL TREES, EXCEPT THOSE OF 1" CALIPER OR LESS, SHALL BE BALLED AND BURLAPPED (B & B) PAGE 15
- ANY DECIDUOUS CANOPY TREES WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "V" CROTCHES SHALL BE SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES.
- MISS DIG MUST BE NOTIFIED TO LOCATE ALL UNDERGROUND UTILITIES BEFORE PLANTING BEGINS.

LANDSCAPING NOTES REQUIRED:

- NOTE INDICATING THE PROPOSED ESTIMATED PLANTING DATES (SHOULD BE BETWEEN MARCH 15 AND NOVEMBER 15).
- GUARANTEE THE PLANT MATERIALS FOR 2 YEARS FROM THE DATE OF ACCEPTANCE AND MAINTAIN ALL SUCH LANDSCAPED AREAS IN ACCORDANCE WITH THE REQUIREMENTS OF THIS ORDINANCE.
- THE PLANTS SHOULD BE UPPER MIDWEST/GREAT LAKES GROWN.
- THE PROPERTY'S LANDSCAPE WILL BE MAINTAINED PER THE APPROVED FINAL SITE PLAN IN PERPETUITY, PER ZONING ORDINANCE SECTION 5.5.7, INCLUDING REPLACEMENT OF ALL DEAD OR FAILING PLANT MATERIAL WITHIN THREE (3) MONTHS OF ITS DISCOVERY, OR THE NEXT APPROPRIATE TIME AS DETERMINED BY THE CITY LANDSCAPE ARCHITECT.
- ANY PLANT SPECIES SUBSTITUTIONS FROM THE APPROVED PLAN MUST BE APPROVED IN WRITING BY THE CITY LANDSCAPE ARCHITECT.

Executive:	NS
Manager:	NS
Designer:	ST / NS
Quality Control:	JR
Section:	13
	T-01-N R-08-E

Professional Seal:



Know what's below.  
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DATE	ISSUE
02/23/2022	OWNER REVIEW Preliminary Site Plan
03/04/2024	SUBMIT PRELIMINARY SITE PLAN
06/07/2024	RESUBMIT PRELIMINARY SITE PLAN
07/12/2024	REVISED LAYOUT PER WETLAND COMMENTS
07/31/2024	RESUBMIT PRELIMINARY SITE PLAN
09/25/2024	REVISE WETLAND MITIGATION AREAS
10/10/2024	SUBMIT FOR ZBA APPROVAL

### SKILKEN | GOLD

Real Estate Development

4270 MORSE ROAD  
COLUMBUS, OH 43230

614.418.3100

### LANDSCAPE DETAILS & CALCULATIONS

SHEETZ NOVI, MI  
(HAGGERTY)

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date:	11.08.2023
Scale:	NA
Sheet:	L-500
Project:	20415.00